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**Owner:**  
PDC OC/IE LP IV, LLC  
20411 SW Birch Street, Suite 200  
Newport Beach, CA 92660  
tel: (949) 296-2989  
fax: (949) 868-6125

**Project:**  
Valley Blvd & Spruce Ave.  
Rialto, CA

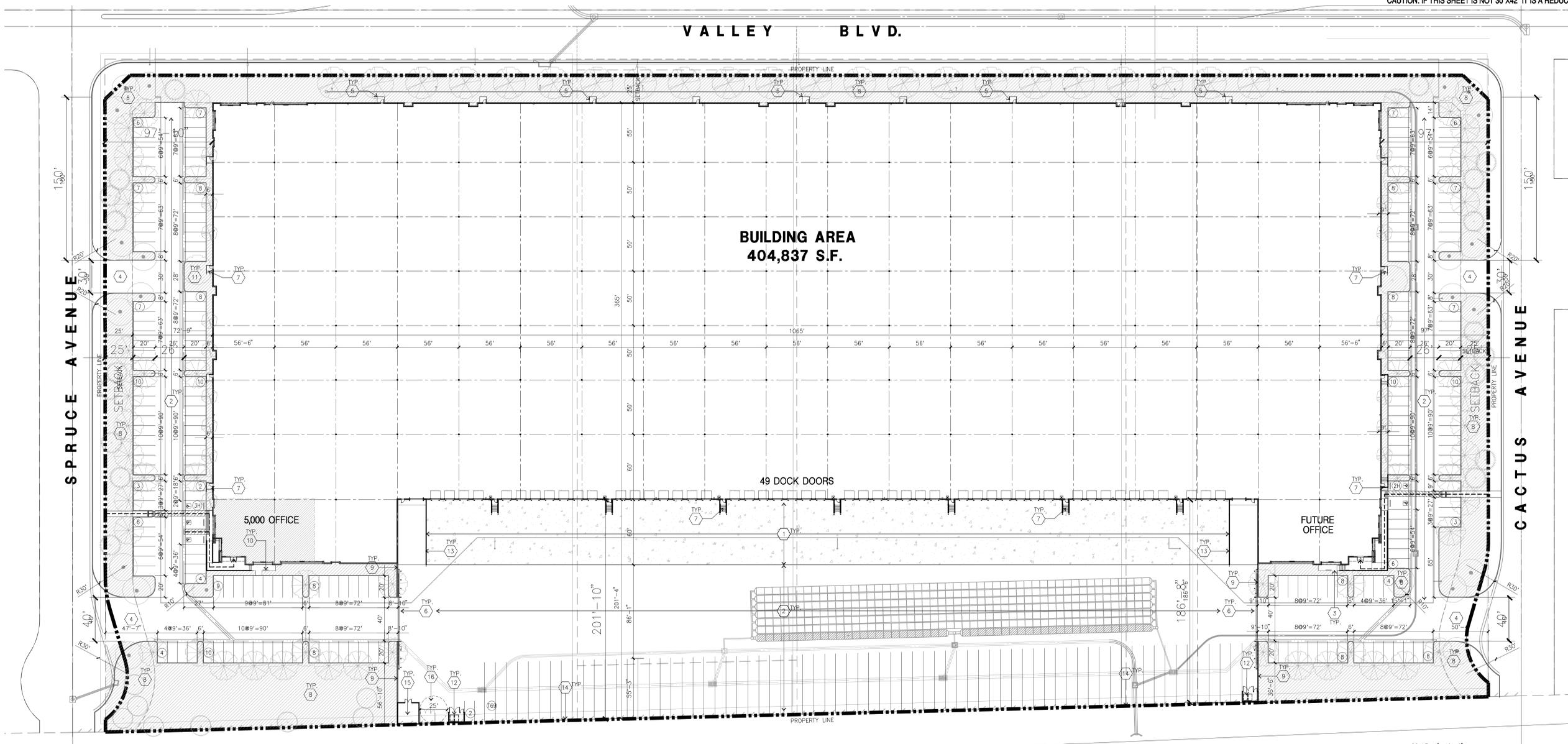
**Consultants:**  
Civil: Thienes Eng.  
Structural: Hunter Landscape  
Mechanical: Hunter Landscape  
Plumbing: Hunter Landscape  
Electrical: Hunter Landscape  
Landscape: Hunter Landscape  
Fire Protection: Hunter Landscape  
Soils Engineer: Hunter Landscape

Title: Overall Site Plan

Project Number: 16053  
Drawn by: JW  
Date: 10/10/2017  
Revision:

Sheet:

DAB-A1.1



**BUILDING AREA**  
404,837 S.F.

49 DOCK DOORS

5,000 OFFICE

FUTURE OFFICE

**TITLE COMMITMENT NO. NCS-795485-A-ONT1 (TR1):**  
**Legal Description**

SITUATED IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
PARCEL 1  
THE WEST 1/2 OF LOT 343, ACCORDING TO THE MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11 OF MAPS, PAGE 12, RECORDS OF SAID COUNTY, PROPERTY HEREIN DESCRIBED LIES WITHIN THE BOUNDARIES OF THE RIALTO IRRIGATION DISTRICT.  
EXCEPTING THEREFROM THE EAST 200 FEET.  
ALSO EXCEPT THAT PORTION DEEDED TO THE STATE OF CALIFORNIA BY DEED RECORDED MARCH 4, 1965, IN BOOK 6342, PAGE 946, OFFICIAL RECORDS.  
NOTE: AREAS AND DISTANCES COMPUTED TO THE CENTERS OF ALL ADJOINING STREETS.  
PARCEL 2  
THAT PORTION OF FARM LOT 343, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11 OF MAPS, PAGE 12, RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT; THENCE SOUTH TO THE SOUTHEAST CORNER THEREOF; THENCE WEST 360 FEET; THENCE NORTH TO THE NORTH LINE OF SAID LOT; THENCE EAST 360 FEET TO THE POINT OF BEGINNING.  
EXCEPT THEREFROM THE WEST 65 FEET.  
ALSO EXCEPT THAT PORTION DEEDED TO THE STATE BY DEED RECORDED MAY 3, 1965, IN BOOK 6382, PAGE 694, OFFICIAL RECORDS.  
NOTE: AREAS AND DISTANCES COMPUTED TO THE CENTERS OF ALL ADJOINING STREETS  
APH: 0253-251-01-0-000 (AFFECTS PARCEL 1)  
0253-251-07-0-000 (AFFECTS PARCEL 2)

**TITLE COMMITMENT NO. NCS-795485-ONT1 (TR2):**  
**Legal Description**

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
THE EAST 200 FEET OF THE WEST 1/2 OF LOT 343, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11 OF MAPS, PAGES 12, RECORDS OF SAID COUNTY.  
EXCEPT THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA BY DEED DATED FEBRUARY 10, 1965 AND RECORDED JULY 1, 1965, IN BOOK 6422, PAGE 891, OFFICIAL RECORDS.  
NOTE: AREAS AND DISTANCES ARE MEASURED TO THE CENTER OF ADJOINING STREETS.  
APH: 0253-251-02-0-000

**TITLE COMMITMENT NO. NCS-795485-B-ONT1 (TR3):**  
**Legal Description**

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
PARCEL 1:  
THE EAST 1/2 OF LOT 343, ACCORDING TO MAP OF SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 11 OF MAPS, PAGE 12, IN THE OFFICE OF THE COUNTY RECORDED OF SAID COUNTY.  
EXCEPT THEREFROM THE EAST 360 FEET THEREOF.  
ALSO EXCEPT THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED APRIL 9, 1965, IN BOOK 6367, PAGE 672, OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHWEST CORNER OF SAID EAST 1/2 OF LOT 343; THENCE ALONG THE SOUTH LINE OF SAID LOT 343, NORTH 89° 31' 58" EAST 269.81 FEET TO THE WEST LINE OF THE EAST 360 FEET OF SAID EAST 1/2 OF LOT 343; THENCE ALONG SAID WEST LINE NORTH 0° 31' 53" WEST 34.51 FEET; THENCE SOUTH 88° 02' 30" WEST 269.89 FEET TO THE WEST LINE OF SAID EAST 1/2, DISTANT ALONG SAID WEST LINE NORTH 0° 31' 49" WEST 27.49 FEET FROM THE POINT OF BEGINNING; THENCE ALONG SAID WEST LINE SOUTH 0° 31' 49" EAST 27.49 FEET TO THE POINT OF BEGINNING.  
NOTE: THE AREA AND DISTANCE OF THE ABOVE DESCRIBED PROPERTY ARE COMPUTED TO THE CENTERS OF THE ADJOINING STREETS SHOWN ON SAID MAP.  
PARCEL 2:  
THE WEST 65 FEET OF THE EAST 360 FEET OF LOT 343, ACCORDING TO MAP SHOWING SUBDIVISION OF LANDS BELONGING TO THE SEMI-TROPIC LAND AND WATER COMPANY, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 11, PAGE 12 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDED OF SAID COUNTY.  
EXCEPT THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA, BY DEED RECORDED MARCH 23, 1965 IN BOOK 6356, PAGE 7, OF OFFICIAL RECORDS.  
NOTE: THE AREA AND DISTANCE OF THE ABOVE DESCRIBED PROPERTY ARE COMPUTED TO THE CENTERS OF THE ADJOINING STREETS SHOWN ON SAID MAP.  
APH: 0253-251-03-0-000 (AFFECTS PARCEL 1)  
APH: 0253-251-04-0-000 (AFFECTS PARCEL 2)

**Property Owner(s)**

KMO INVESTMENT CORP.  
22867 IRONBARK DRIVE  
DIAMOND BAR, CA 91765  
JOHN D. HOOK AND PEGGY L. HOOK  
105 S. EL CAMINO REAL  
SAN CLEMENTE, CA 92672  
HASSAN A. HASSAN AND IBRAHIM HASSAN  
10231 S. BROOKHURST STREET  
ANAHEIM, CA 92804

**Zoning**

ZONING DESIGNATION - GATEWAY SPECIFIC PLAN INDUSTRIAL PARK (I-P)

**Applicant**

PDC OC/IE LP IV, LLC  
20411 SW BIRCH STREET, SUITE 200  
NEWPORT BEACH, CA 92660  
TEL: (949) 296-2989  
CONTACT: MICHAEL SZEMORE

**Applicant's Representative**

HPA INC.  
18831 BARDEEN AVE. SUITE 100  
IRVINE, CA 92612  
TEL: (949) 862-2125  
TEL: (949) 862-0851  
CONTACT: JOCELYN WAN

**Assessor's Parcel Number**

0253-251-01-0-000  
0253-251-02-0-000  
0253-251-03-0-000  
0253-251-04-0-000  
0253-251-07-0-000

**PROJECT DATA**

<b>SITE AREA</b>	
In s.f.	736,753 s.f.
In acres	16.9 ac
<b>BUILDING AREA</b>	
Office	5,000 s.f.
Warehouse	399,837 s.f.
TOTAL	404,837 s.f.
<b>COVERAGE</b>	
AUTO PARKING REQUIRED	54.9% s.f.
Office: 1/250 s.f.	20 stalls
Whse: 1st 10k @ 1/1,000 s.f.	10 stalls
above 10k @ 1/2,000 s.f.	195 stalls
TOTAL	225 stalls
<b>AUTO PARKING PROVIDED</b>	
Standard (9' x 20')	220 stalls
Handicap (9' x 20')	5 stalls
TOTAL	225 stalls
<b>TRAILER PARKING PROVIDED</b>	
Trailer (10' x 55')	69 stalls
<b>MAXIMUM BUILDING HEIGHT ALLOWED</b>	
Height - 35' (variance required)	
<b>LANDSCAPE REQUIREMENT</b>	
Percentage -	10%
In s.f.	73,675 s.f.
<b>LANDSCAPE PROVIDED</b>	
Percentage -	12.4%
In s.f.	91,026
<b>SETBACKS</b>	
Valley Blvd. - 25' (Major Arterial)	
Spruce Ave. - 25' (Collector St.)	
Cactus Ave. - 25' (Collector St.)	
Side / Rear - 0	
<b>ZONING ORDINANCE FOR CITY</b>	
Zoning Designation - Gateway Specific Plan Industrial Park (I-P)	



**OVERALL SITE PLAN**  
SCALE: 1"=40'-0"  
SCALE: 1"=40'-0"



**VICINITY MAP**

**SITE PLAN KEYNOTES**

- 1 HEAVY BROOM FINISH CONC. PAVEMENT.
- 2 PORTLAND CEMENT CONCRETE (PCC) PAVING.
- 3 CONCRETE WALKWAY
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED PER "L" DRAWINGS.
- 5 5'-6"x5'-6"x4" MIN. THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY W/ 1:20 MAX. AS REQ. BY CITY INSPECTOR.
- 6 8" H PROVIDE METAL, MANUAL OPERATED GATES W/ KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 7 EXTERIOR CONC. STAIR.
- 8 LANDSCAPE. SEE "L" DWGS.
- 9 CONCRETE TILT-UP SCREEN WALL
- 10 BIKE RACK.
- 11 APPROXIMATE LOCATION OF TRANSFORMER.
- 12 TRASH ENCLOSURE PER CITY STANDARD.
- 13 RAMP WALL, SEE SHEET A2.1 - OVERALL FLOOR PLAN.
- 14 8" H TUBE STEEL FENCE PAINTED TO BLACK.
- 15 PUMP HOUSE.
- 16 BREAK TANK PAD.

**SITE LEGEND**

- LANDSCAPED AREA
- PORTLAND CEMENT CONCRETE (PCC) PAVING
- CONCRETE PAVING SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 20')
- HANDICAP PARKING STALL (9' X 20')
- PROPERTY LINE



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Consultants:  
  
Civil Thienes Eng.  
Structural  
Mechanical  
Plumbing  
Electrical  
Landscape Hunter Landscape  
Fire Protection  
Soils Engineer

Title: Overall Floor Plan  
  
Project Number: 16053  
Drawn by: JW  
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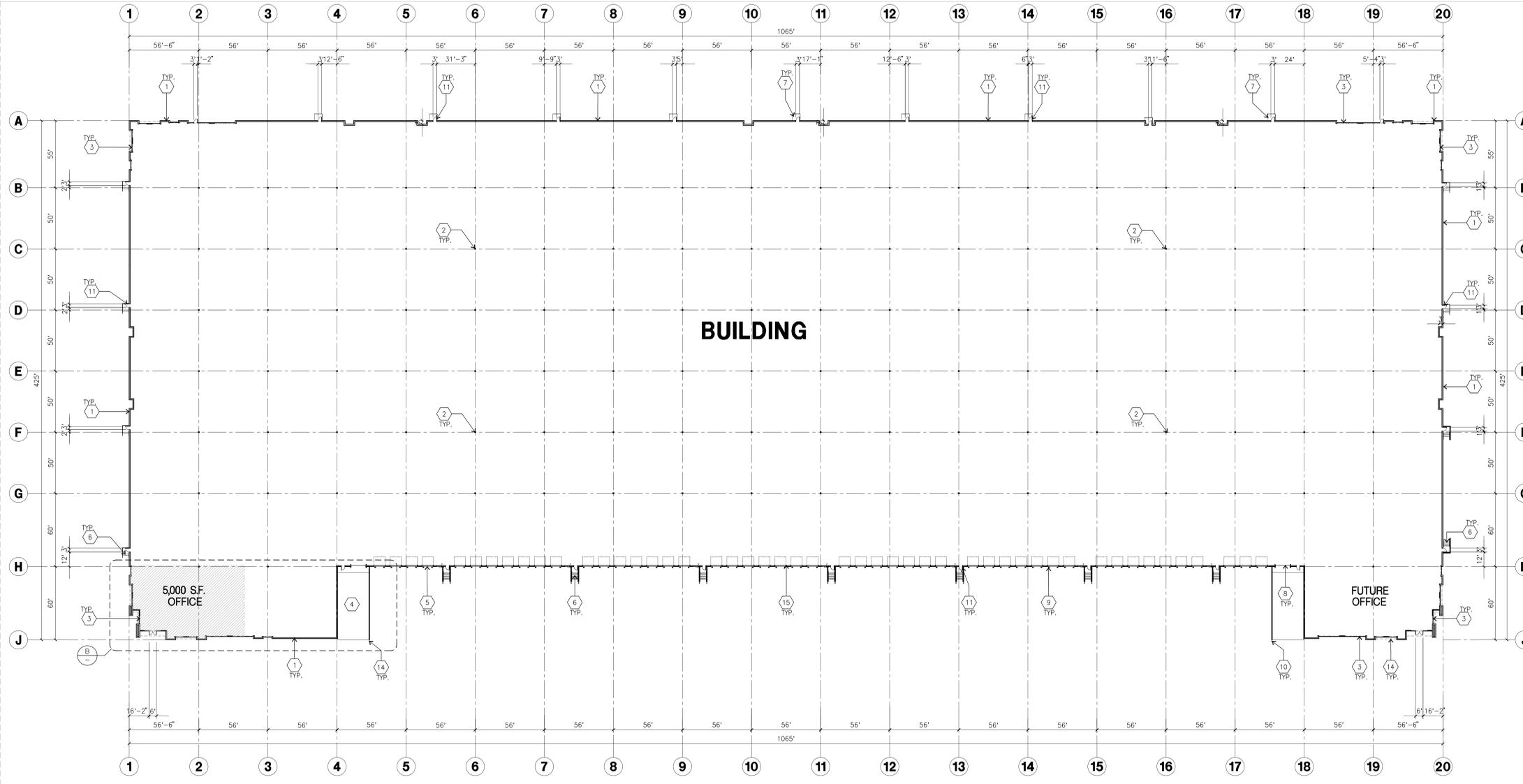
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**KETNOTES - FLOOR PLAN**

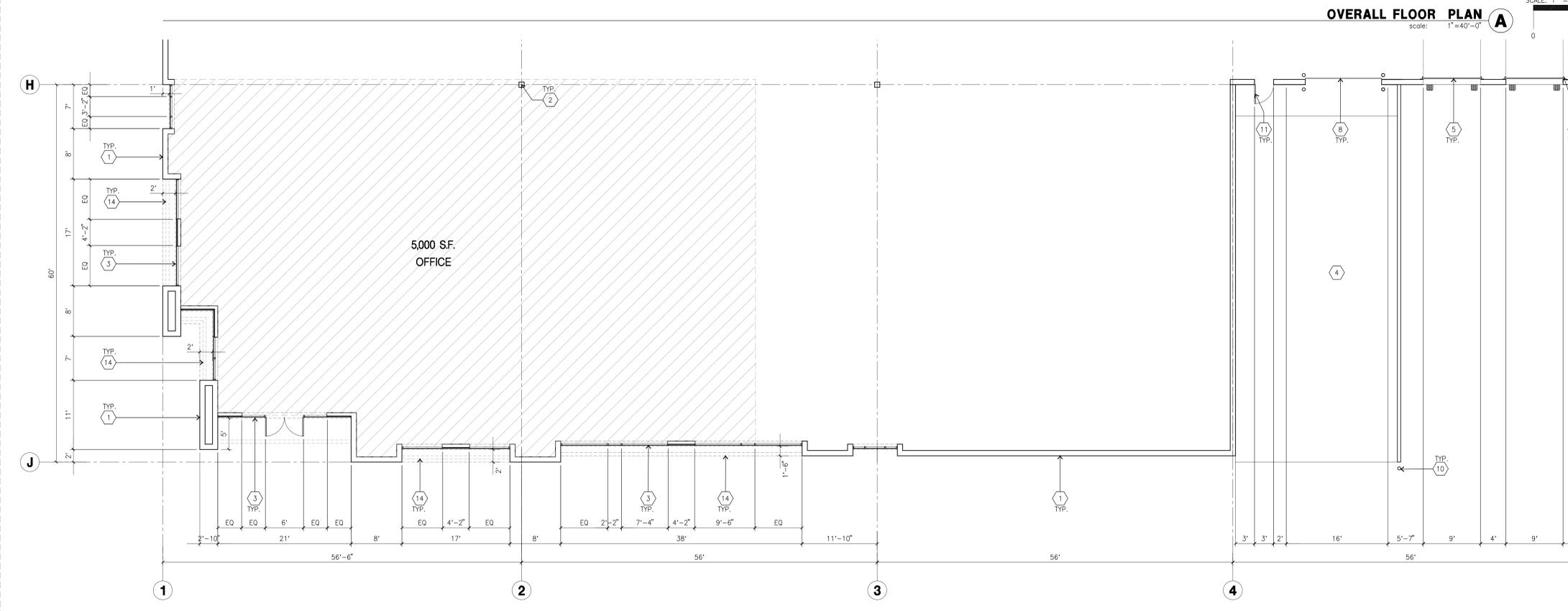
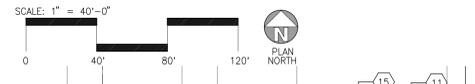
- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 6 EXTERIOR CONCRETE STAIR
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH, SLOPE TO BE 1/4" = 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 12' X 16' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
- 9 DOCK DOOR BUMPER
- 10 CONC. FILLED GUARD POST, 6" DIA. U.N.O., 42" H.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 I-BEAM CANOPY
- 15 2 GUARD

**GENERAL NOTES - FLOOR PLAN**

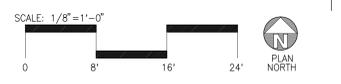
- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE SAFETY YELLOW TO 12" A.F.F. AND WHITE UP TO UNDERSIDE OF ROOF STRUCTURE. ALL OVP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/A4.1 OFFICE SECTION.

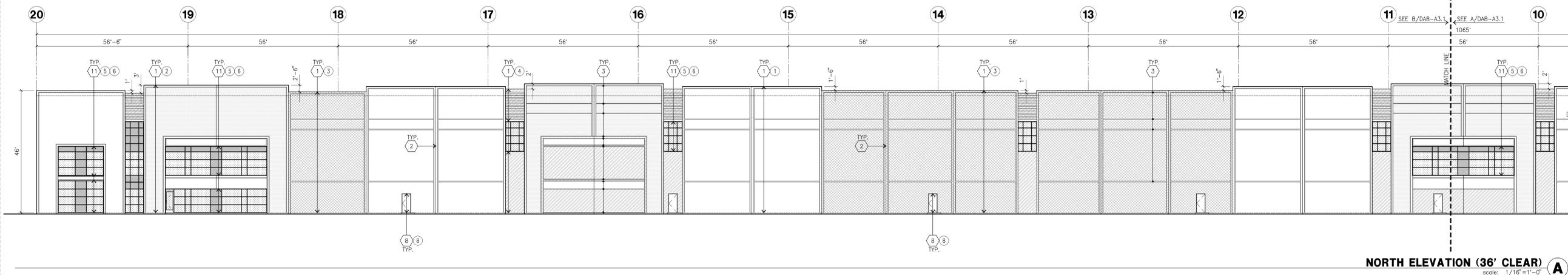


**OVERALL FLOOR PLAN**  
scale: 1" = 40'-0" A

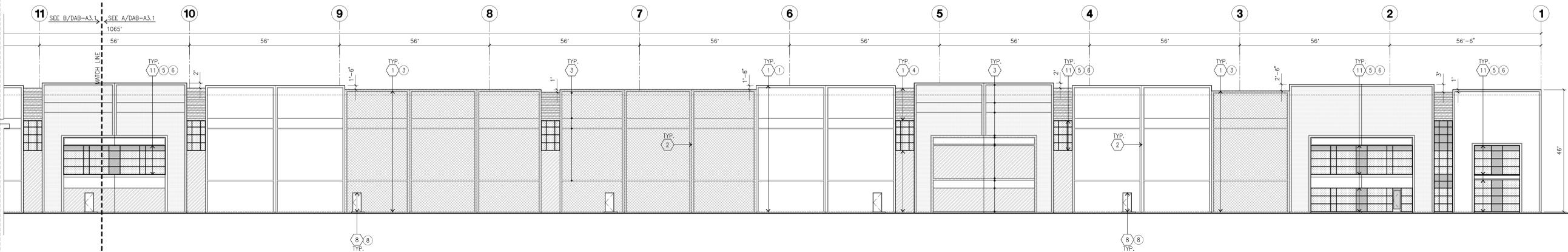


**ENLARGED FLOOR PLAN**  
scale: 1/8" = 1'-0" B

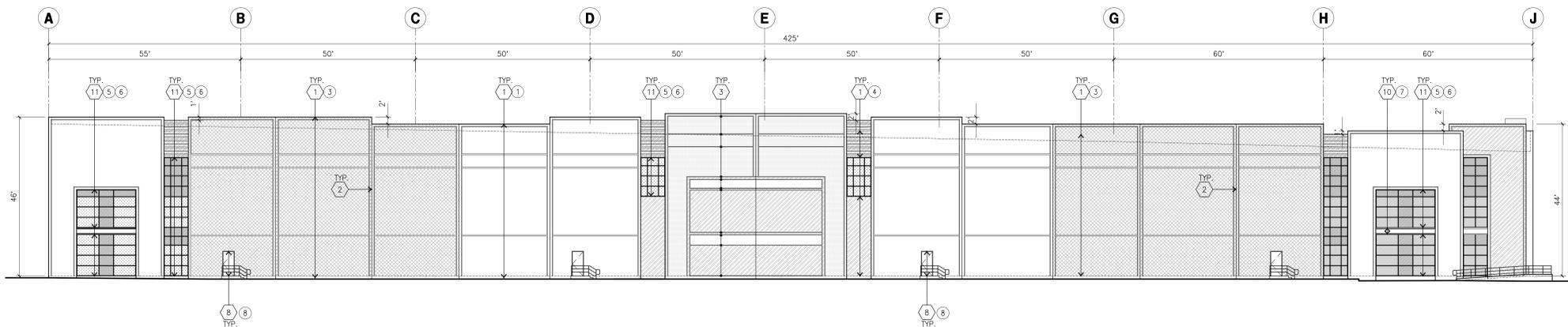




**NORTH ELEVATION (36' CLEAR)**  
scale: 1/16"=1'-0" **A**



**NORTH ELEVATION CONT'D. (36' CLEAR)**  
scale: 1/16"=1'-0" **B**



**WEST ELEVATION (36' CLEAR)**  
scale: 1/16"=1'-0" **C**

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM. TREAD PER ADA REQUIREMENTS.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 INTERIOR ROOF DRAIN AND OVERFLOW SCUPPER
- 10 PAINTED I-BEAM
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS, SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL.= TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

**COLOR SCHEDULE - ELEVATIONS**

1	CONCRETE TILT-UP PANEL	PAIN BRAND_SHERWIN WILLIAMS SW 7005 PURE WHITE
2	CONCRETE TILT-UP PANEL	PAIN BRAND_SHERWIN WILLIAMS SW 7071 GRAY SCREEN
3	CONCRETE TILT-UP PANEL	PAIN BRAND_SHERWIN WILLIAMS SW 7072 ONLINE
4	CONCRETE TILT-UP PANEL	PAIN BRAND_SHERWIN WILLIAMS SW 7073 NETWORK GRAY
5	MULLIONS	COLOR_CLEAR ANODIZED MULLIONS
6	GLAZING	COLOR_BLUE REFLECTIVE GLAZING
7	PAINTED I-BEAM	COLOR_SHERWIN WILLIAMS SW 7005 PURE WHITE
8	DOOR	COLOR_MATCH TO ADJ. BUILDING COLOR

**GLAZING LEGEND**

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

IV INSULATED VISION GLASS      SC SPANDREL GLASS WITH CONCRETE BEHIND

2" VISION GLASS

IV : INSULATED VISION GLASS  
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR  
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES  
U: 0.27 SHGC: 0.21 VLT: 26%  
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

V: 1/4" VISTACOL PACIFICA AT ALL VISION GLASS LOCATION EXCEPT MAIN OFFICE AREA.

SC : SPANDREL WITH CONCRETE BEHIND  
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.  
INSTALLED ON CONCRETE.

MULLIONS : ANODIZED CLEAR.



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Valley Blvd & Spruce Ave.

Rialto, CA

Consultants:

CIVIL      Thienes Eng.  
STRUCTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE      Hunter Landscape  
FIRE PROTECTION  
SOILS ENGINEER

Title: Elevations

Project Number: 16053

Drawn by: JW

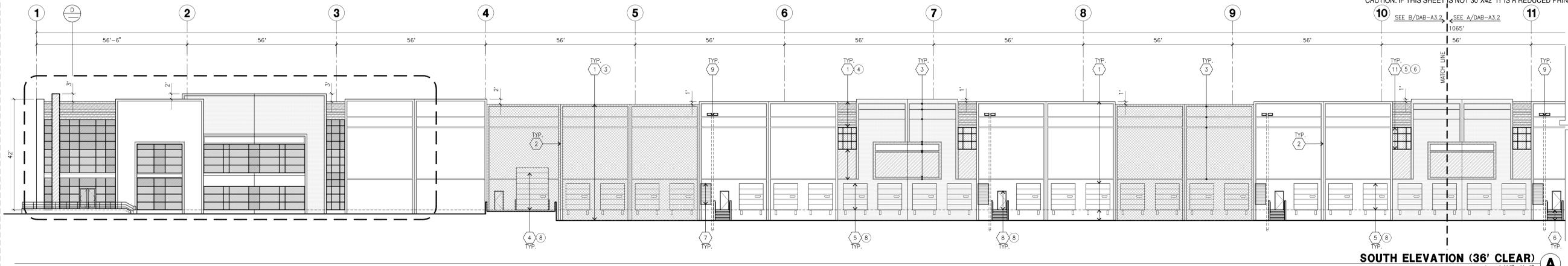
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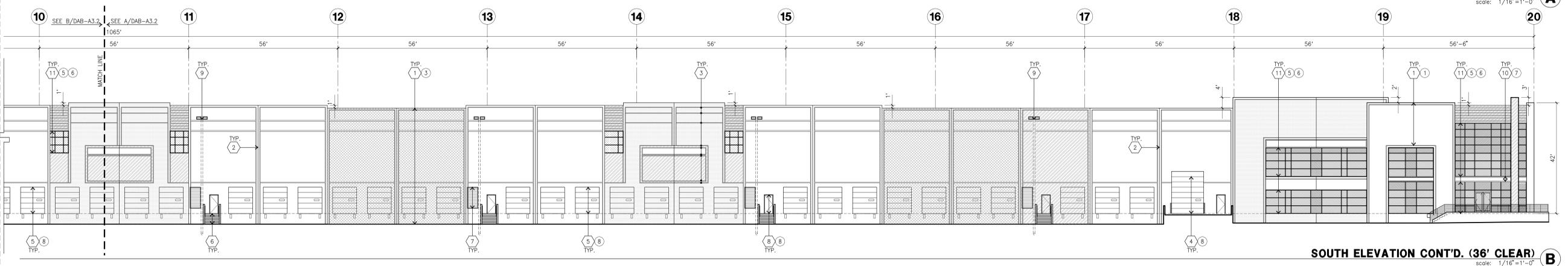
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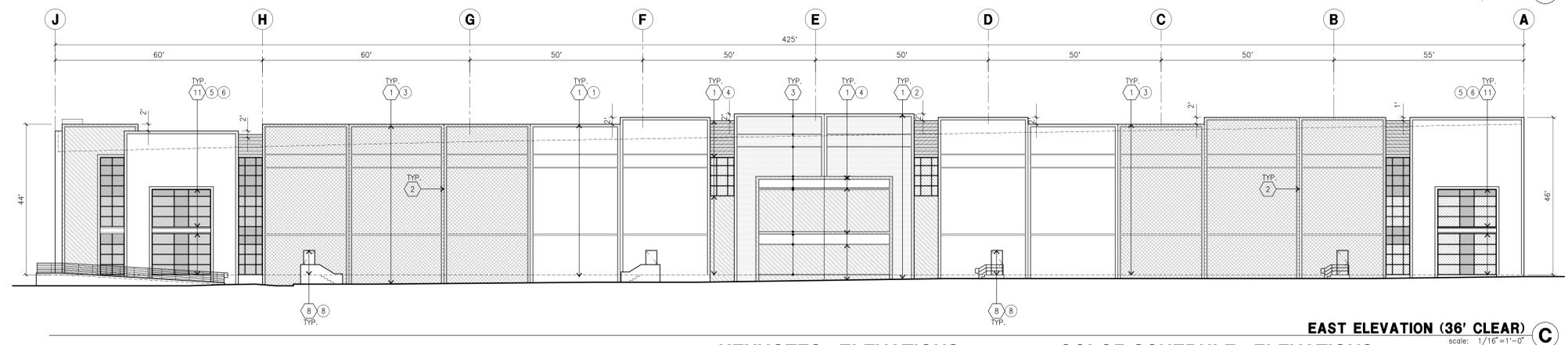
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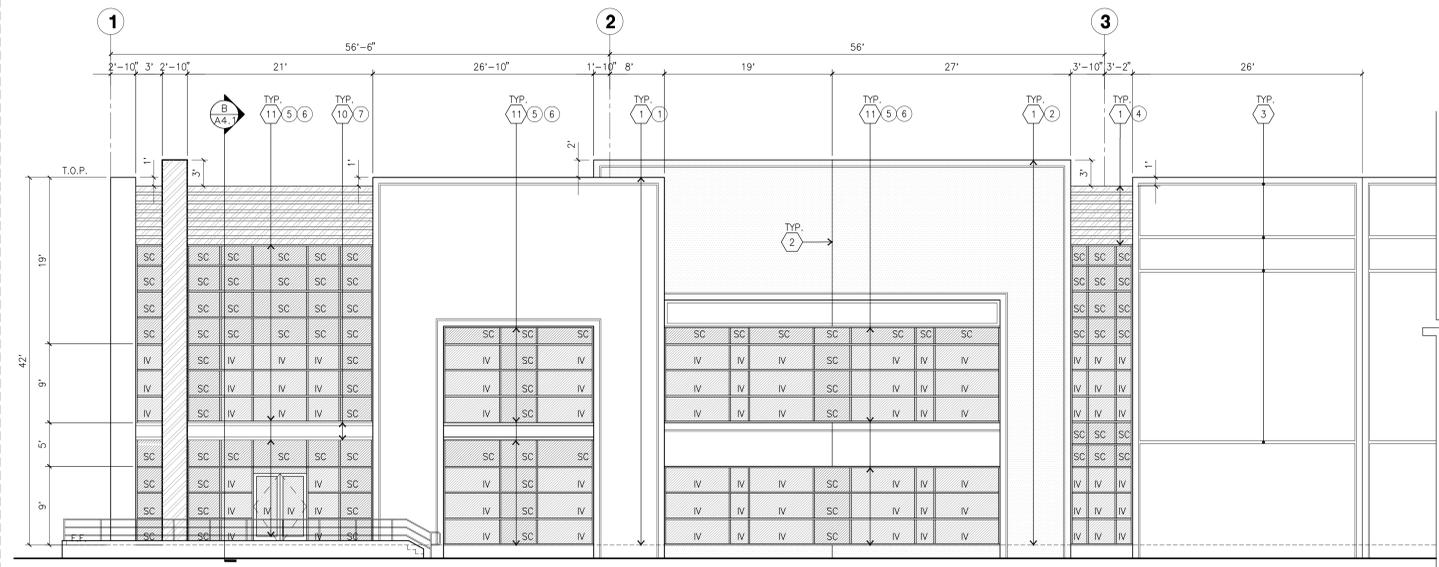
**SOUTH ELEVATION (36' CLEAR)**  
scale: 1/16"=1'-0"



**SOUTH ELEVATION CONT'D. (36' CLEAR)**  
scale: 1/16"=1'-0"



**EAST ELEVATION (36' CLEAR)**  
scale: 1/16"=1'-0"



**ENLARGED SOUTH ELEVATION**  
scale: 1/8"=1'-0"

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL(PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIP INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 INTERIOR ROOF DRAIN AND OVERFLOW SCUPPER
- 10 PAINTED I-BEAM
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS, SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

**COLOR SCHEDULE - ELEVATIONS**

1	CONCRETE TILT-UP PANEL	PAINT BRAND_SHERWIN WILLIAMS SW 7005 PURE WHITE
2	CONCRETE TILT-UP PANEL	PAINT BRAND_SHERWIN WILLIAMS SW 7071 GRAY SCREEN
3	CONCRETE TILT-UP PANEL	PAINT BRAND_SHERWIN WILLIAMS SW 7072 ONLINE
4	CONCRETE TILT-UP PANEL	PAINT BRAND_SHERWIN WILLIAMS SW 7073 NETWORK GRAY
5	MULLIONS	COLOR_CLEAR ANODIZED MULLIONS
6	GLAZING	COLOR_BLUE REFLECTIVE GLAZING
7	PAINTED I-BEAM	COLOR_SHERWIN WILLIAMS SW 7005 PURE WHITE
8	DOOR	COLOR_MATCH TO ADJ. BUILDING COLOR

**GLAZING LEGEND**

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
  - SC SPANDREL GLASS WITH CONCRETE BEHIND
  - V VISION GLASS
- IV : INSULATED VISION GLASS  
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR  
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES  
U: 0.27 SHGC: 0.21 VLT: 26%  
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- V: 1/4" VISTACOL PACIFICA AT ALL VISION GLASS LOCATION EXCEPT MAIN OFFICE AREA.
- SC : SPANDREL WITH CONCRETE BEHIND  
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.
- MULLIONS : ANODIZED CLEAR.

**HPA**  
architecture

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**Project:**

Valley Blvd & Spruce Ave.

Rialto, CA

**Consultants:**

CIVIL Thienes Eng.  
STRUCTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE Hunter Landscape  
FIRE PROTECTION  
SOILS ENGINEER

**Title:** Elevations

**Project Number:** 16053

**Drawn by:** JW

**Date:** 10/10/2017

**Revision:**

Sheet: **DAB-A3.2**



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Project:

Valley Blvd & Spruce Ave.

Rialto, CA

Consultants:

CIVIL Thienes Eng.  
STRUCTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE Hunter Landscape  
FIRE PROTECTION  
SOILS ENGINEER

Title: Overall Roof Plan

Project Number: 16053

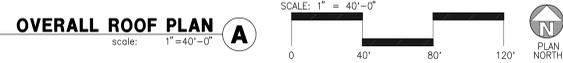
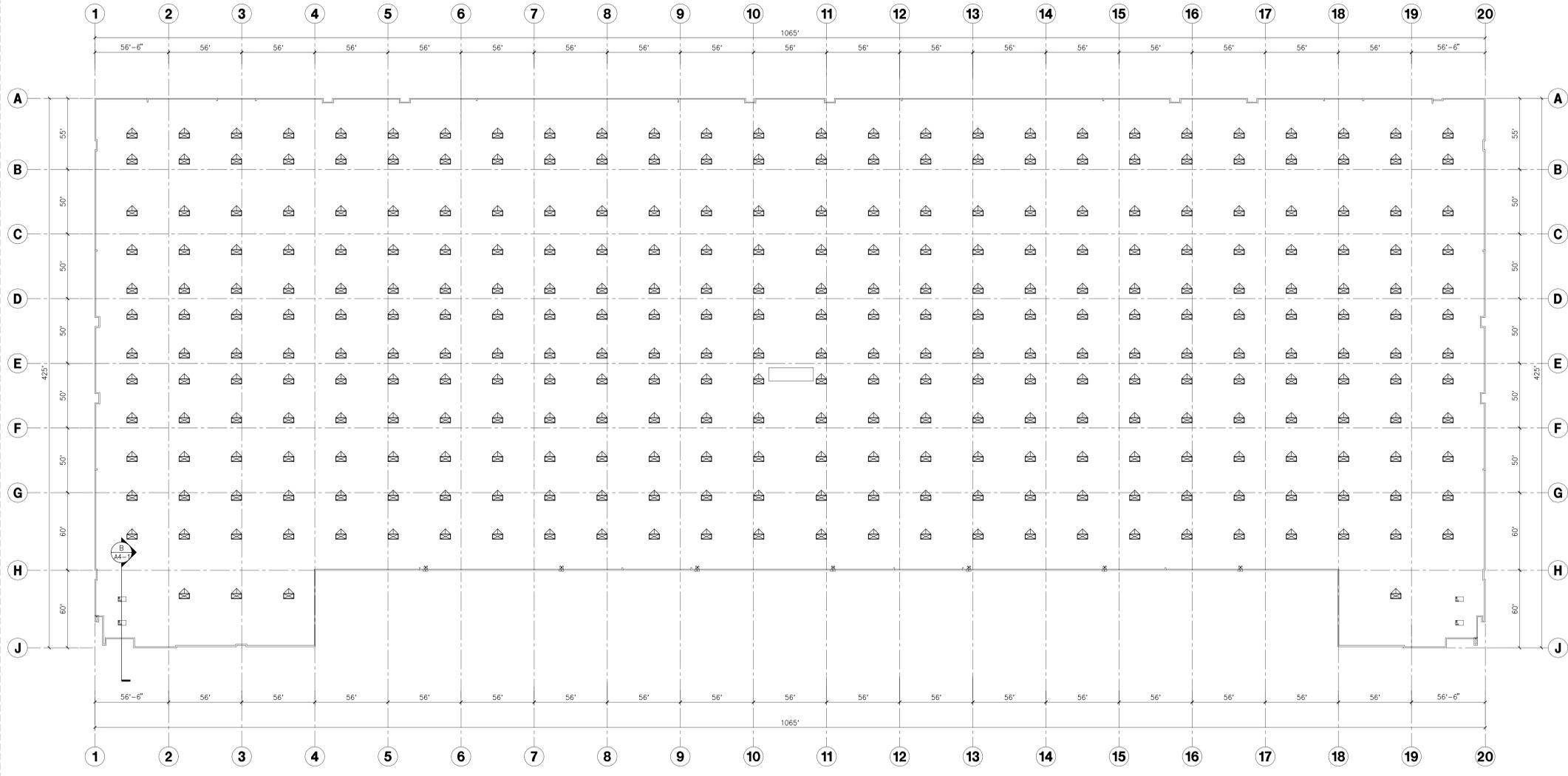
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Date: 10/10/2017

Revision:

Sheet:

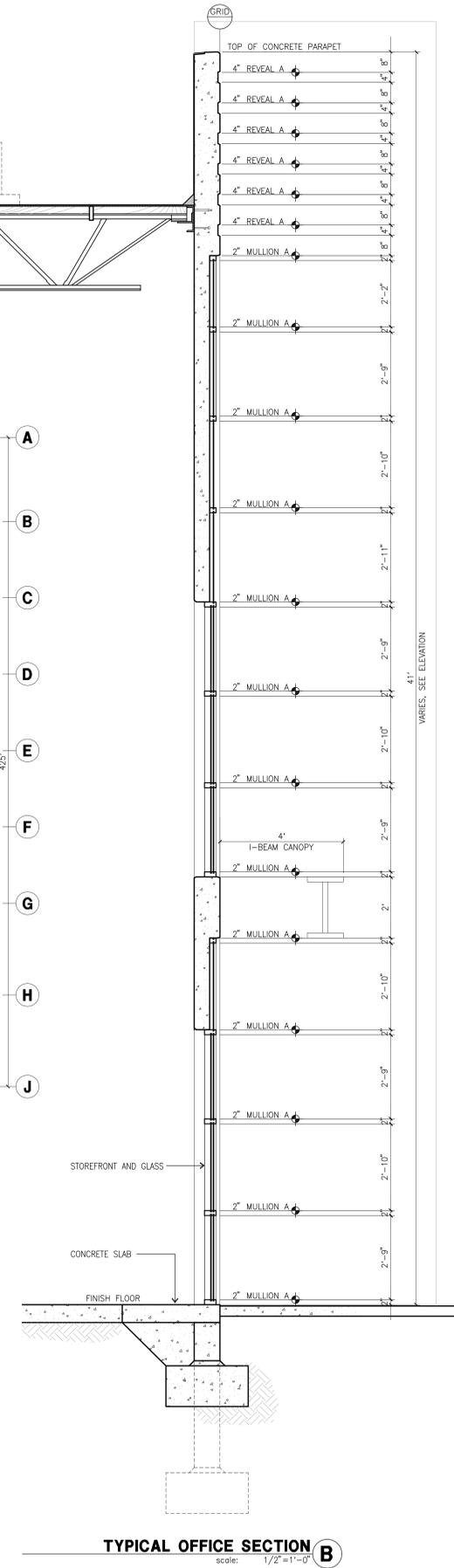
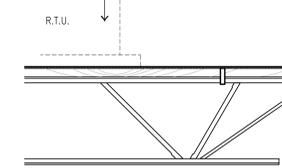
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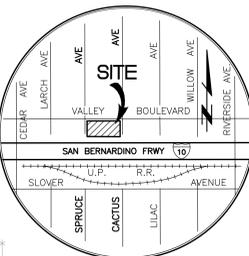
**SKYLIGHT CALCULATION**

PROJECT:	
CLEAR HEIGHT IN WAREHOUSE AREA	= 36' FT. CLEAR FROM 1ST COLUMN PLUS 6" IN FROM DOCK BAY
BUILDING AREA	= 404,837 S.F.
SKYLIGHTS REQUIRED	= 2.5 % = 10,121 S.F. (316)
SKYLIGHTS PROVIDED	= 2.5 % = 9,984 S.F. (316)

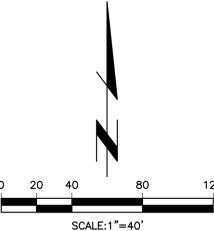
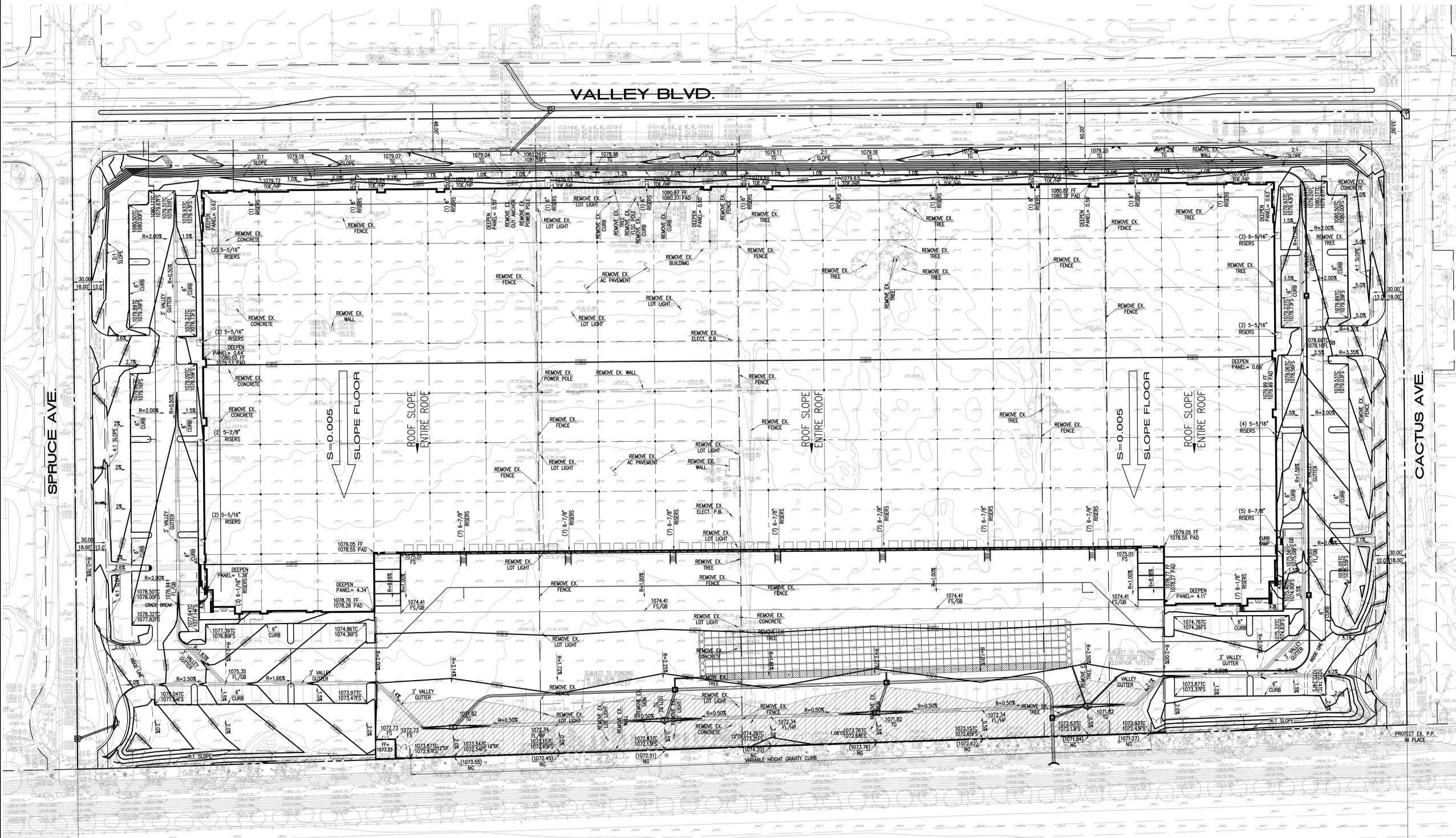
APPROXIMATE LOCATION OF FUTURE ROOF TOP EQUIPMENT



**TYPICAL OFFICE SECTION B**  
scale: 1/2"=1'-0"



VICINITY MAP  
N.T.S.



**EARTHWORK ANALYSIS:**

MATERIAL AVAILABLE:	MATERIAL REQUIRED:	
TOTAL EXCAVATION	FILL	19,322 C.Y.
(INCLUDING SITE AND UTILITY SPILLS)	SUBSIDENCE (0.125)	3,411 C.Y.
OVER EXCAVATION	SITE & OVER EXCAVATION SHRINKAGE (10%)	9,150 C.Y.
APPROXIMATE IMPORT	TOTAL FILL	31,888 C.Y.

NOTE: EARTHWORK FIGURES SHOWN ARE APPROXIMATE FIGURES, AND ARE TO BE USED BY BUILDING DEPARTMENT ONLY. CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND BID A COMPLETE JOB.

PREPARED FOR:  
PDC OC/E LPM, LLC  
20411 SW BIRCH STREET, SUITE 200  
NEWPORT BEACH, CA 92660  
PHONE: (949) 296-2960  
FAX: (949) 793-7363



**CITY OF RIALTO**  
PUBLIC WORKS DEPARTMENT

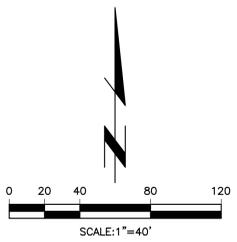
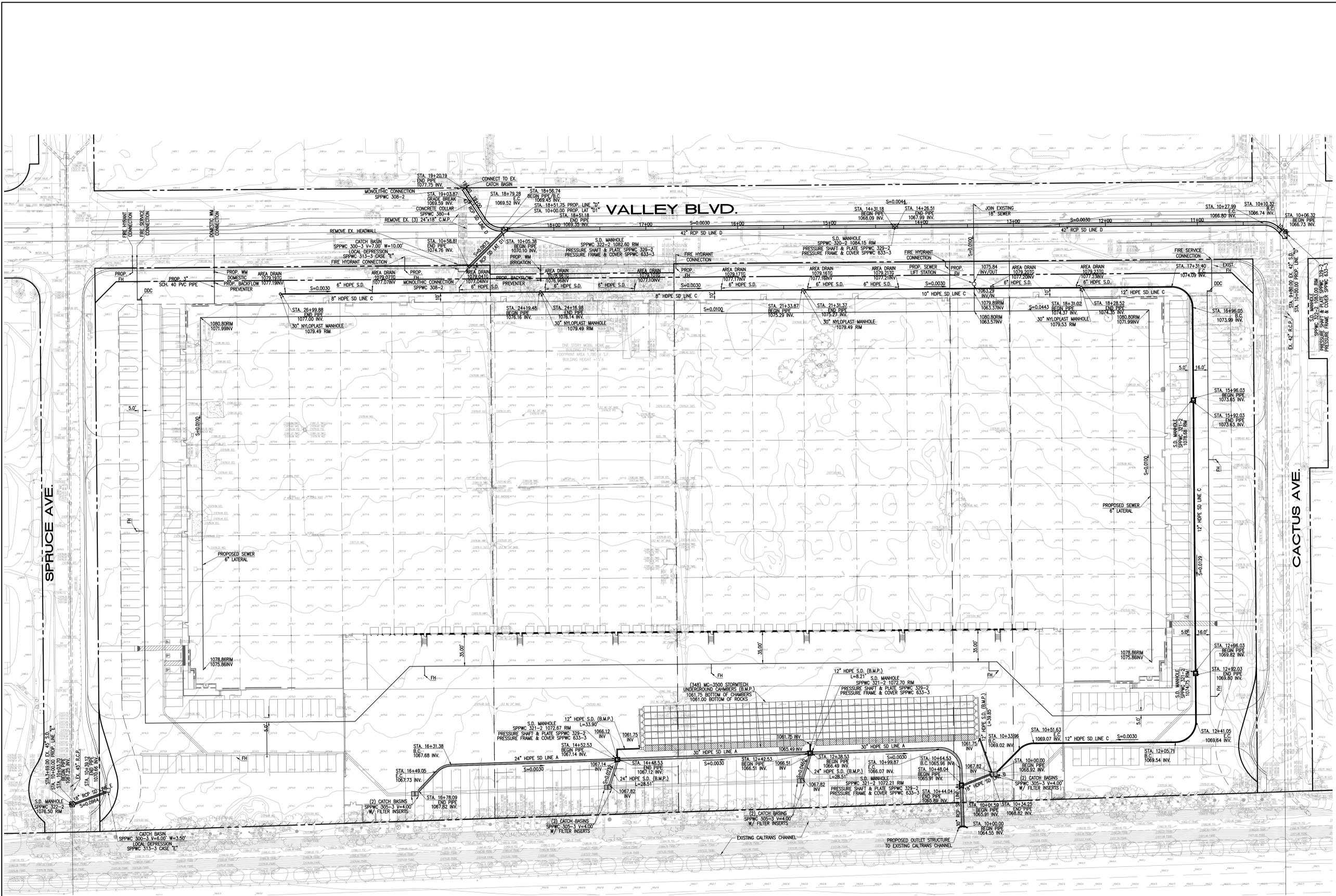
**CONCEPTUAL GRADING PLAN**  
VALLEY AND SPRUCE  
VALLEY BLVD.  
BETWEEN SPRUCE AVE. AND CACTUS AVE.

Designed by _____	Approved by _____	Date _____
Checked by _____	Public Works Director	R.C.E. XXXXX
Designed by _____		
Checked by _____		

Sheet **1** of **3** Sheets

3460/1 OF 3 SHEET

Last Update: 10/12/17  
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Last Update: 10/12/17  
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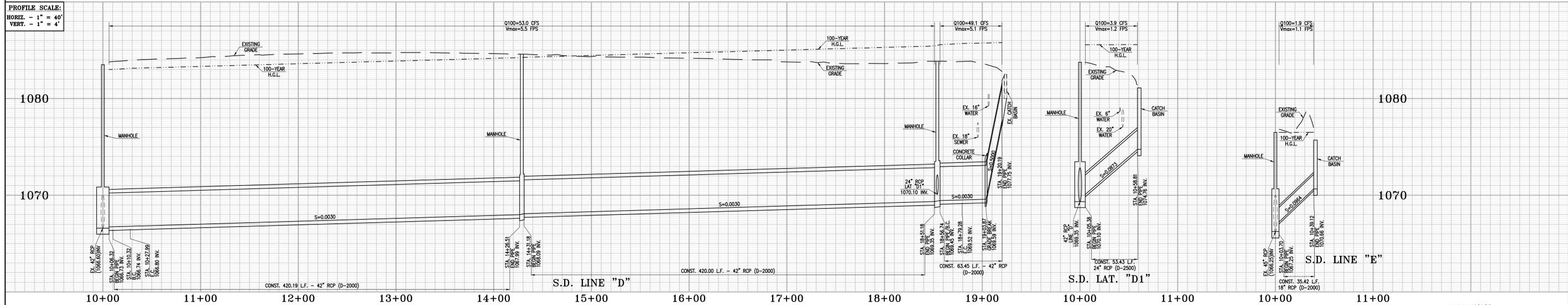
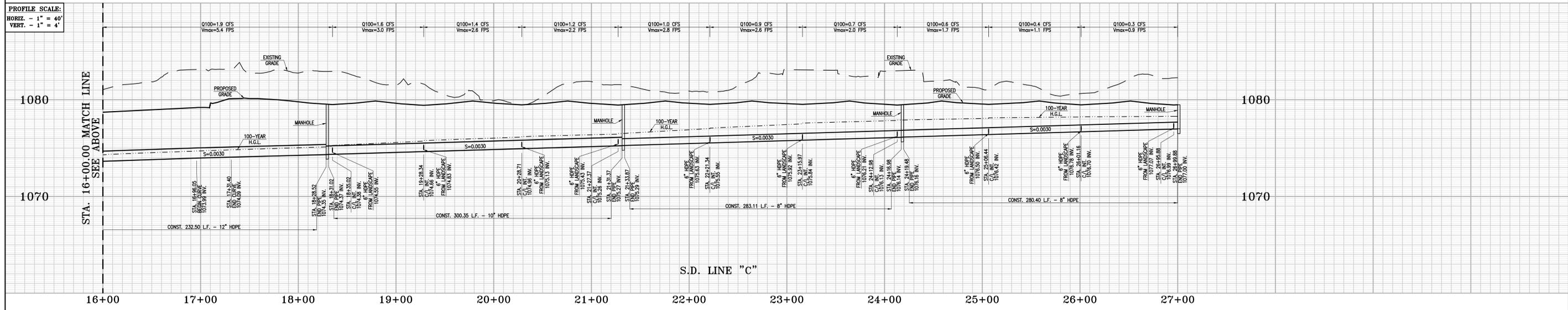
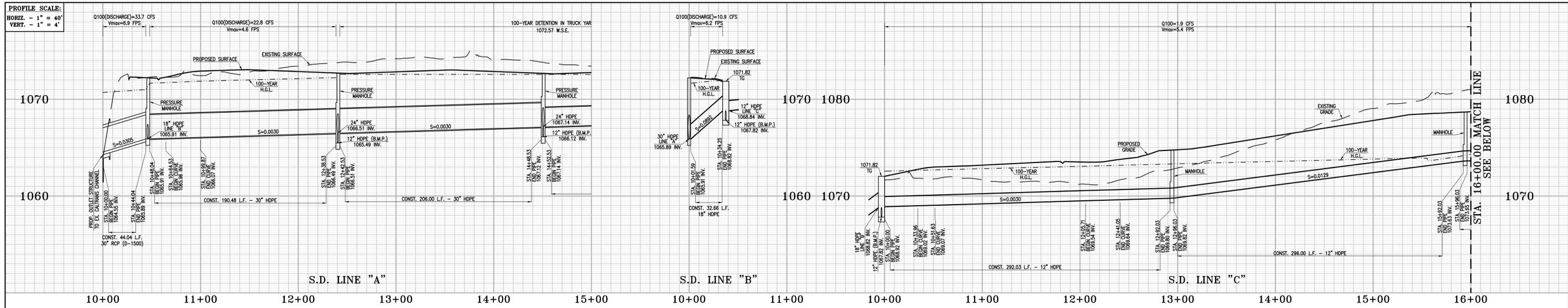
**CITY OF RIALTO**  
 PUBLIC WORKS DEPARTMENT  
**CONCEPTUAL UTILITY PLAN**  
**VALLEY AND SPRUCE**  
**VALLEY BLVD.**  
**BETWEEN SPRUCE AVE. AND CACTUS AVE.**

**PREPARED FOR:**  
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Designed by _____	Approved by _____	Date _____
Checked by _____	Public Works Director _____	R.C.E. XXXXX
Designed by _____		
Date _____		
Checked by _____		
Date _____		
Sheet <b>2</b> of <b>3</b>		Sheets

3460/2 OF 3 SHEETS



Last Update: 10/12/17  
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**CITY OF RIALTO**  
 PUBLIC WORKS DEPARTMENT

**CONCEPTUAL STORM DRAIN  
 PROFILES**  
 VALLEY AND SPRUCE  
 VALLEY BLVD.  
 BETWEEN SPRUCE AVE. AND CACTUS AVE.

Designed by _____	Approved by _____	Date _____
Checked by _____	Public Works Director _____	R.C.E. XXXXX
Designed by _____	Checked by _____	Date _____
Checked by _____	Date _____	Sheet <b>3</b> of <b>3</b> Sheets

**PREPARED FOR:**  
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3460/3 OF 3 SHEETS