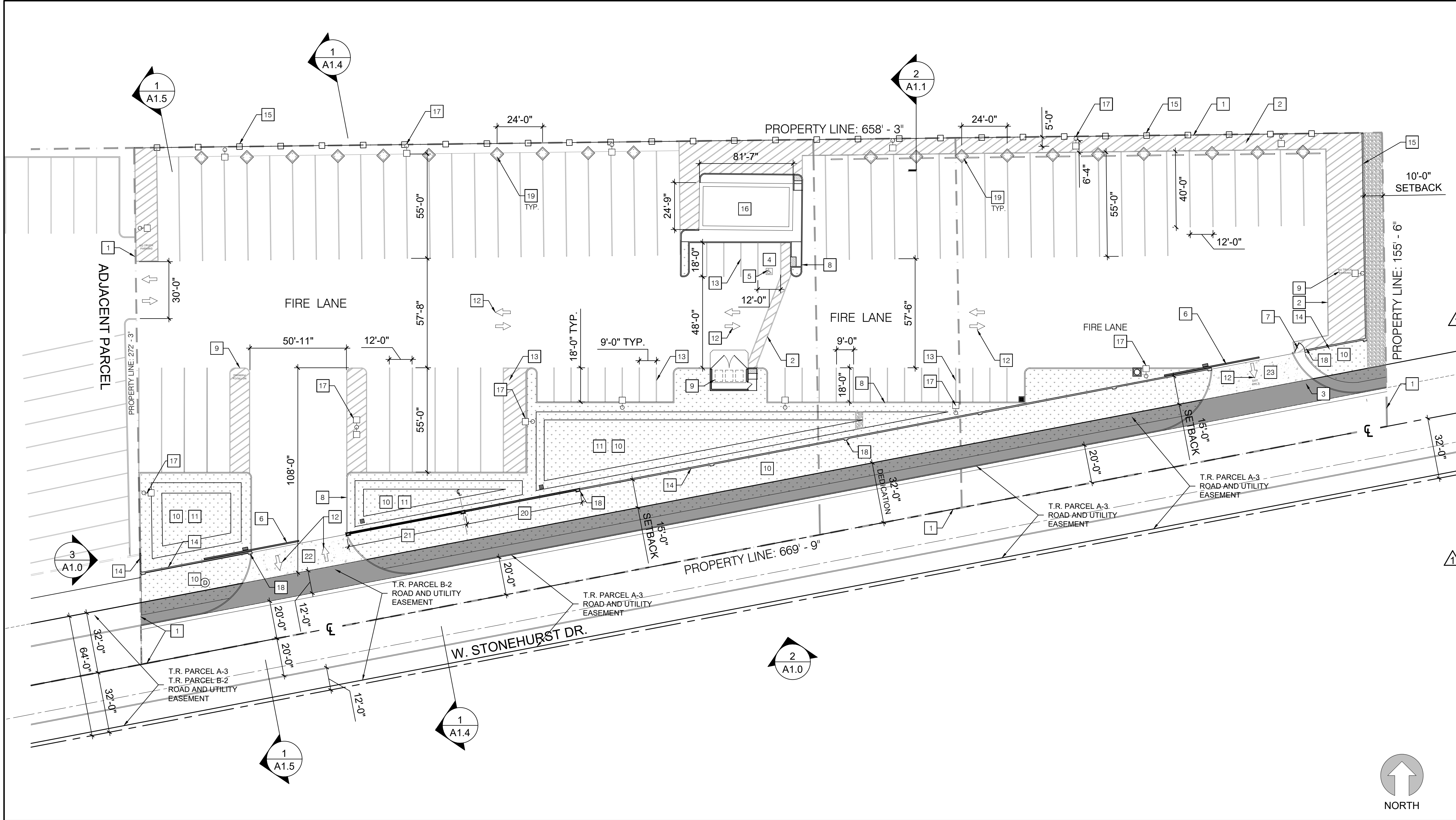


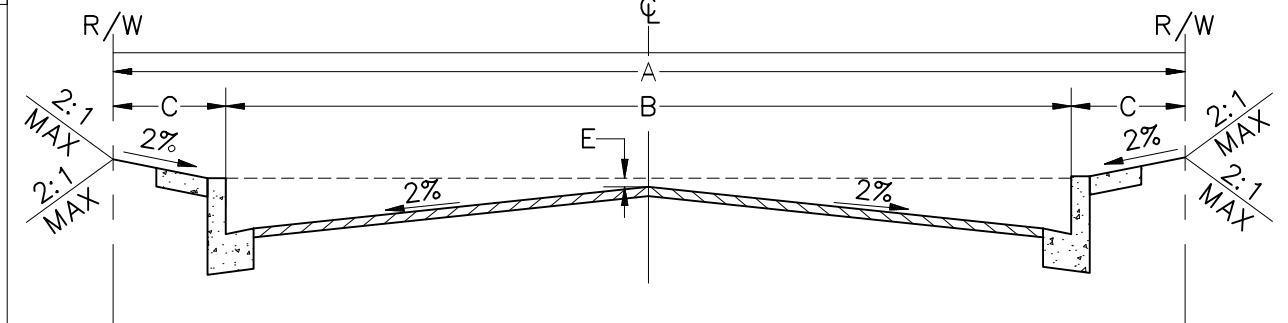


- ### KEYNOTES
- PROPERTY LINE
 - ADA PATH OF TRAVEL
 - ADA PATH OF TRAVEL TO CONNECT TO FUTURE OFF-STREET IMPROVEMENTS
 - VAN ACCESSIBLE PARKING STALL - PAINT ACCESSIBLE LOADING ZONE PER OTC STANDARDS FOR ACCESSIBLE PARKING PLACES. PAVEMENT MARKINGS AND STENCILS ARE TO BE 4" WIDE STRIPING WHITE AND SHOULD BE RETROREFLECTIVE PAINT. PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS WITHIN THE LOADING ZONE.
 - INTERNATIONAL SYMBOL AT PARKING STALL. REFER. TO DET. 8/A0.02
 - PROPOSED ROLLING GATE - HOLLOW STEEL SECTION FRAME W/ CORRUGATED METAL PANEL. PAINTED "SW 7549 - STUDIO TAUPÉ"
 - PROPOSED PEDESTRIAN ACCESS GATE.
 - 6" CONCRETE CURB (TYP.).
 - PROPOSED TRASH ENCLOSURE.
 - LANDSCAPING - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 - RETENTION BASIN. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 - DIRECTIONAL ARROW. "GATE TO REMAIN OPEN DURING OPERATING HOURS".
 - PARKING STRIPING PER CITY STANDARDS (TYP.).
 - PROPOSED TAN SPLIT FACE CMU WALL 8". INCORPORATE DECORATIVE CAP ALONG ENTIRE WALL LENGTH AND COLUMNS. MATCH CAP COLORS TO THE CMU WALL
 - PROPOSED 8" HIGH WROUGHT IRON FENCE.
 - EXISTING BUILDING TO REMAIN.
 - SITE LIGHTING TYP.
 - CMU PILASTERS EVERY 70 LINEAR FEET AND AT ALL CORNERS AND ENDS OF THE WALL
 - LANDSCAPE DIAMONDS @ ± 24'-0"
 - CMU WALL SECTION AT 10'-0" HEIGHT. TOTAL LENGTH 61'-4". INCORPORATE DECORATIVE CAP ALONG ENTIRE WALL LENGTH. MATCH CAP COLORS TO THE CMU WALL
 - CMU WALL SECTION AT 12'-0" HEIGHT. TOTAL LENGTH 63'-4". INCORPORATE DECORATIVE CAP ALONG ENTIRE WALL LENGTH. MATCH CAP COLORS TO THE CMU WALL
 - DUAL-DIRECTION TRAFFIC ENTRY/EXIT POINT.
 - EXIT ONLY ACCESS POINT.

STREET SECTION										SCALE	3
DIMENSIONS					STRUCTURAL SECTION		# OF TRAVEL LANES				
STREET-TYPE	A	B	C	D	E	MIN. A.C.	MIN. A.B.				
COLLECTOR	64'	40'	12'	-	.14'	4"	6"	2 LANES		2 PARKING	

THE STRUCTURAL SECTION DESIGN FOR ALL STREETS SHALL BE DETERMINED USING THE FORMULAS CONTAINED IN THE CALIFORNIA DEPARTMENT OF TRANSPORTATION HIGHWAY DESIGN MANUAL TABLES 608.4 AND 608.4B AND IN NO CASE SHALL THE DESIGN SECTIONS BE LESS THAN THE MINIMUMS SHOWN.

- #### GENERAL NOTES:
- STREET DIMENSIONS MAY VARY IN SPECIFIC PLAN AREAS.
 - T.I.=10 FOR ALL TRUCK ROUTES AND ARTERIAL STREETS. SOIL TESTING AND CALCULATIONS WILL BE REQUIRED FOR PAVEMENT SECTION RECOMMENDATIONS.
 - FOR SIDEWALK, REFER TO STANDARD DRAWINGS SC-203, SC-204, SC-205, AND SC-206.
 - LEVEL LINE OFFSETS ARE BASED UPON A STRAIGHT GRADE CROSSFALL OF 2% "E".



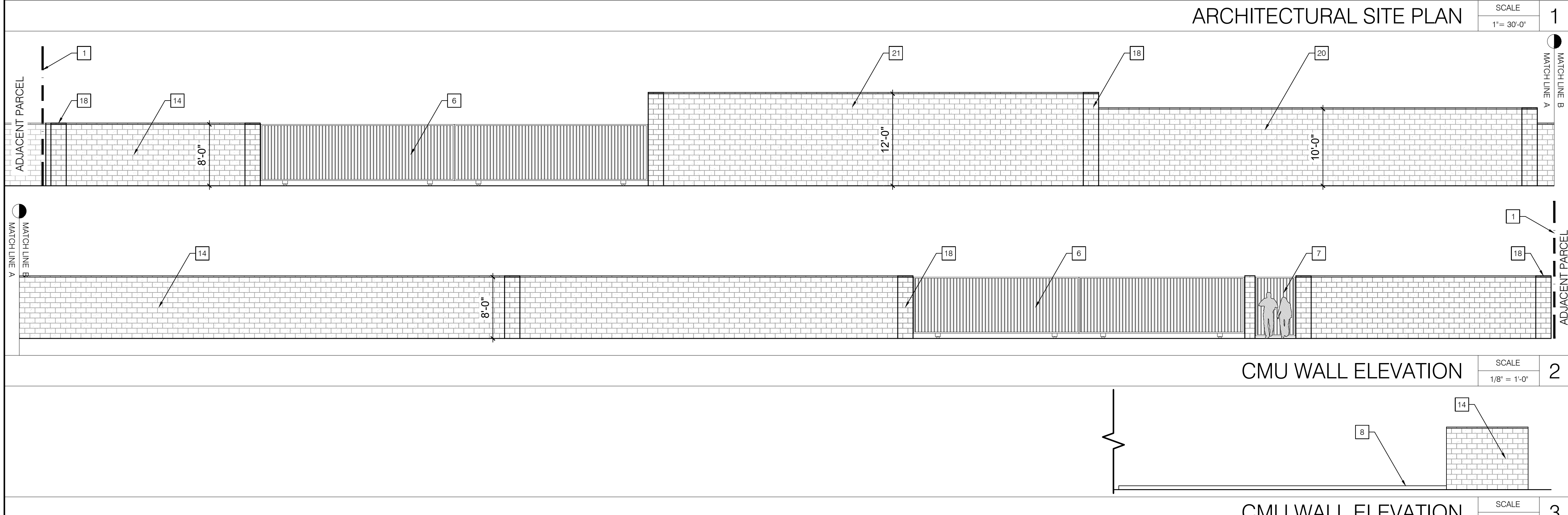
COLLECTOR, COLLECTOR (COMMERCIAL/INDUSTRIAL), INDUSTRIAL, AND LOCAL

SITE INFORMATION

APN:	113-071-08-0-000, 1133-071-09-0-000, 1133-071-10-0-000
SITE SIZE:	85,440 SQFT.
ZONING DESIGNATION:	INDUSTRIAL
LAND USE DESIGNATION:	GENERAL MANUFACTURING
EXISTING BUILDING SIZE:	+/- 1,220 SQFT
LANDSCAPED AREA:	+/- 21,650 SQFT
PARKING TABULATION:	
STANDARD 9X18 STALLS REQUIRED:	5
STANDARD 9X18 STALLS PROVIDED:	27
VAN ACCESSIBLE STALLS PROVIDED:	1
12X40 TRUCK STALLS PROVIDED:	7
12X55 TRUCK STALLS PROVIDED:	51

PRELIMINARY PLAN NOTE

THIS PLAN HAS BEEN PREPARED WITH THE BEST AVAILABLE INFORMATION PROVIDE BY THE CUSTOMER, WITHOUT THE BENEFIT OF A SURVEY IN SOME CASES. THE ENGINEER HAS NOT CONDUCTED ANY CODE RESEARCH REGARDING BUT NOT LIMITED TO, PERMITTED USES, SETBACKS, BUFFERS, ACCESS, REQUIRED PARKING, LANDSCAPING, FAR, ISR STORM WATER MANAGEMENT, UTILITIES, RIGHT OF WAY ACQUISITION OR EASEMENTS TO BENEFIT ACCURATE LAYOUT ORIENTATION AND CONFIGURATION.



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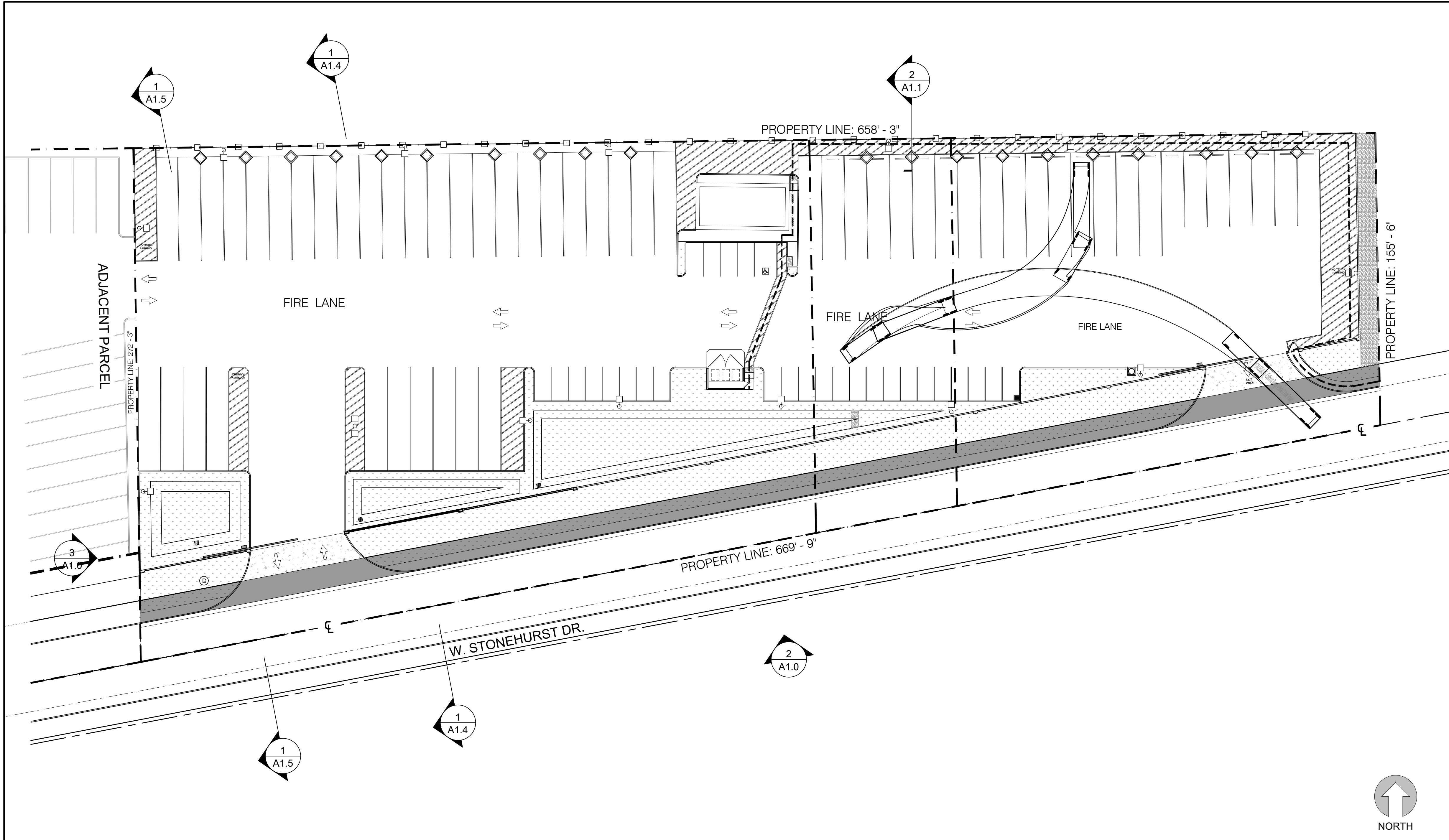
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Checked By:	

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No. C 27416
Exp. 12/31/24
STATE OF CALIFORNIA

SHEET:
A1.0



SITE LEGEND

HANDICAP PARKING	
BOUNDARY LINE	
CENTER LINE OF ROAD	
LANDSCAPE	
ADA PATH	

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PEDESTRIAN ROUTES EXHIBIT

KEYNOTES

- PROPERTY LINE
- LANDSCAPE DIAMONDS
- LANDSCAPING - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- PARKING STRIPING PER CITY STANDARDS (TYP.).
- PROPOSED CMU WALL 8' MAXIMUM HEIGHT.
- SITE LIGHTING TYP.
- CMU PILASTERS EVERY SEVENTY (70)
- PROPOSED 8' HIGH WROUGHT IRON FENCE.
- ADA PATH OF TRAVEL

PRELIMINARY PLAN NOTE

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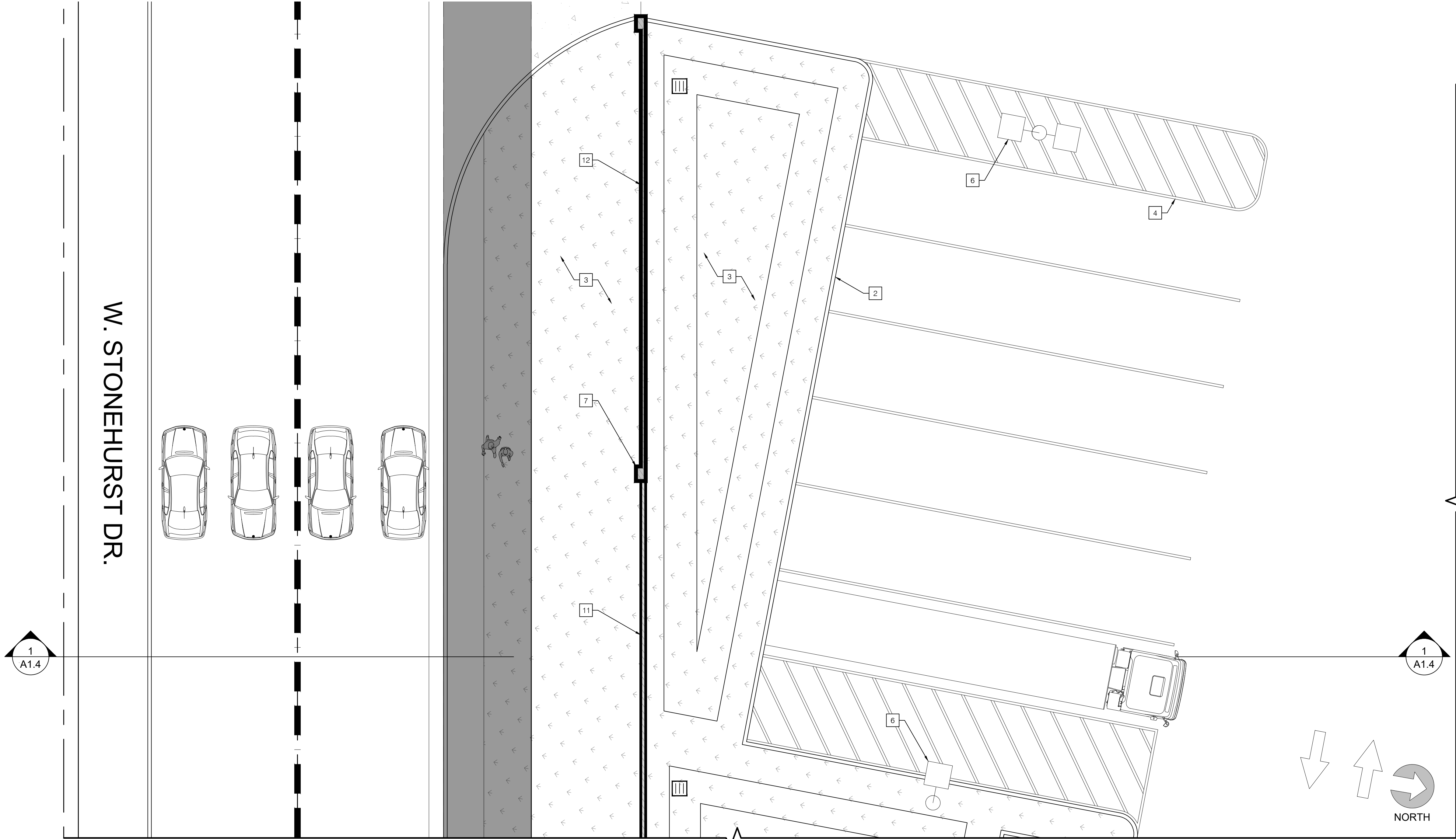
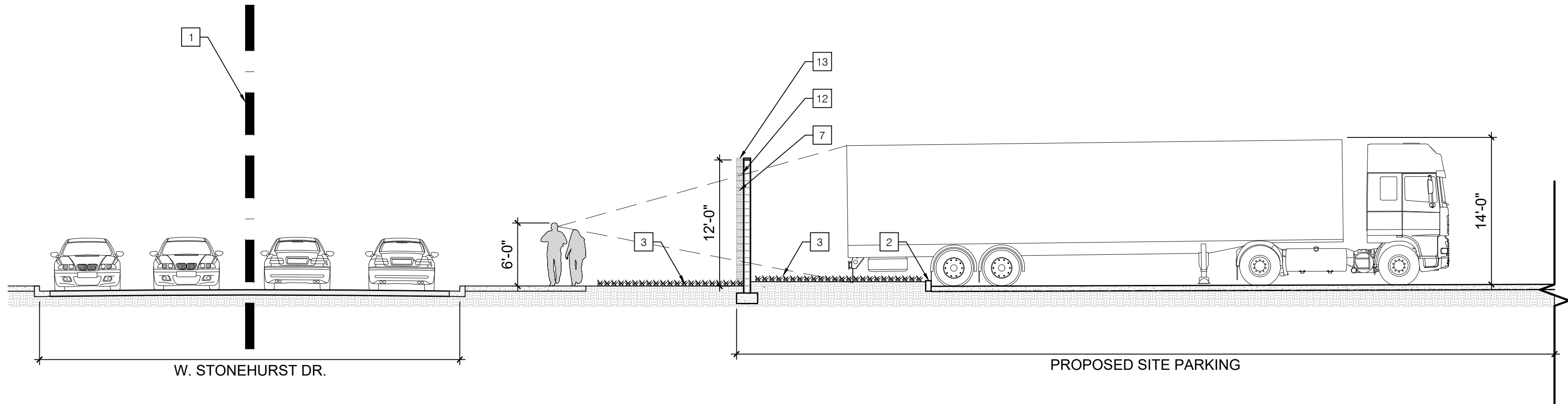
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ADA PATH OF TRAVEL DETAIL



KEYNOTES

- 1 PROPERTY LINE
- 2 6" CONCRETE CURB (TYP.).
- 3 LANDSCAPING - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 PARKING STRIPING PER CITY STANDARDS (TYP.).
- 5 PROPOSED CMU WALL 8'-0" MAXIMUM HEIGHT.
- 6 SITE LIGHTING TYP.
- 7 CMU PILASTERS EVERY SEVENTY (70)
- 8 4" CONCRETE FILLED PIPE BOLLARD @ 48" O.C.
- 10 ADA PATH OF TRAVEL
- 11 CMU WALL SECTION AT 10'-0" HEIGHT.
- 12 CMU WALL SECTION AT 12'-0" HEIGHT.
- 13 INCORPORATE DECORATIVE CAP ALONG ENTIRE WALL LENGTH AND COLUMNS. MATCH CAP COLORS TO THE CMU WALL

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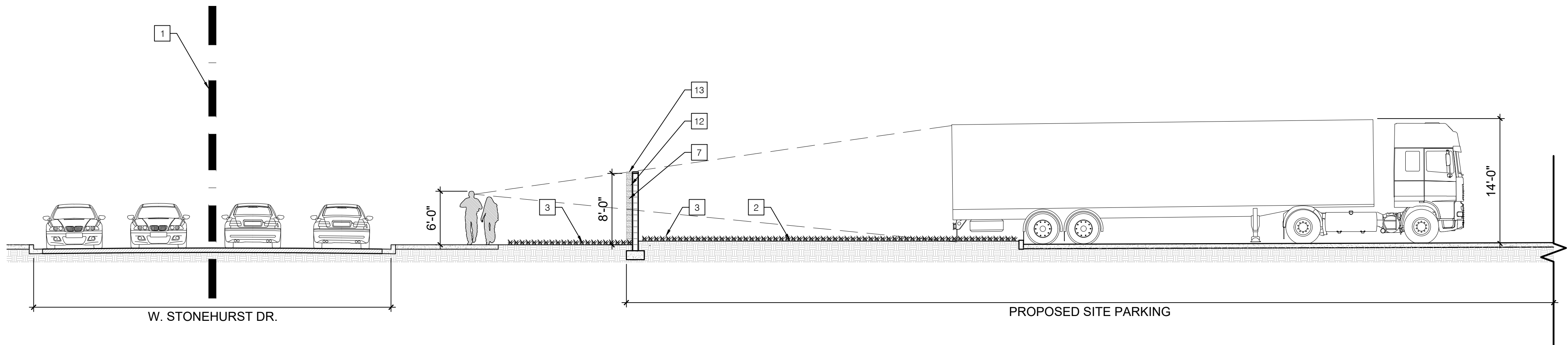
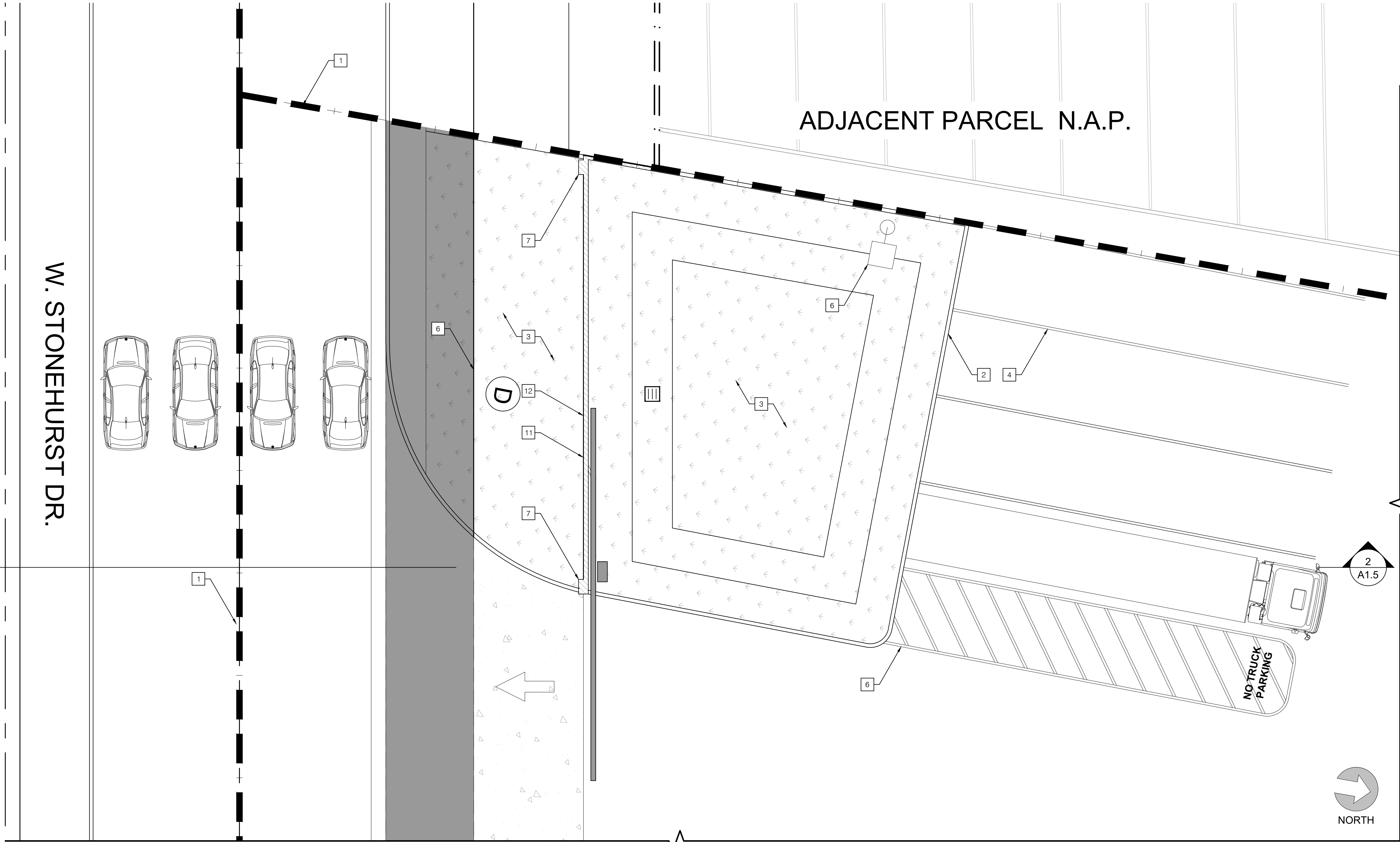
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Exp. 12-31-24
STATE OF CALIFORNIA

SHEET:
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LINE OF SIGHT

SCALE
1/8" = 1'-0"

1



LINE OF SIGHT

SCALE
1/8" = 1'-0"

1

KEYNOTES

- 1 PROPERTY LINE
- 2 6" CONCRETE CURB (TYP.).
- 3 LANDSCAPING - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
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