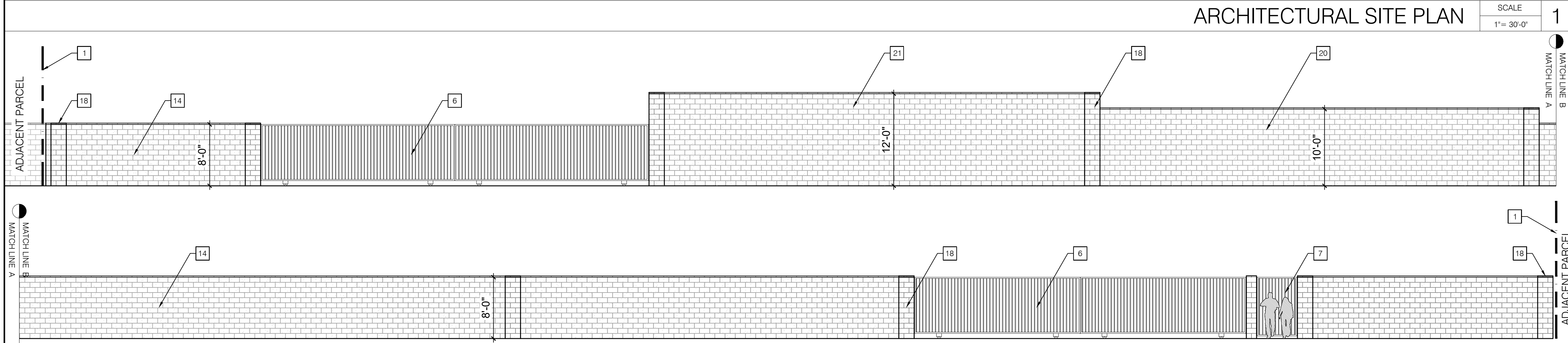
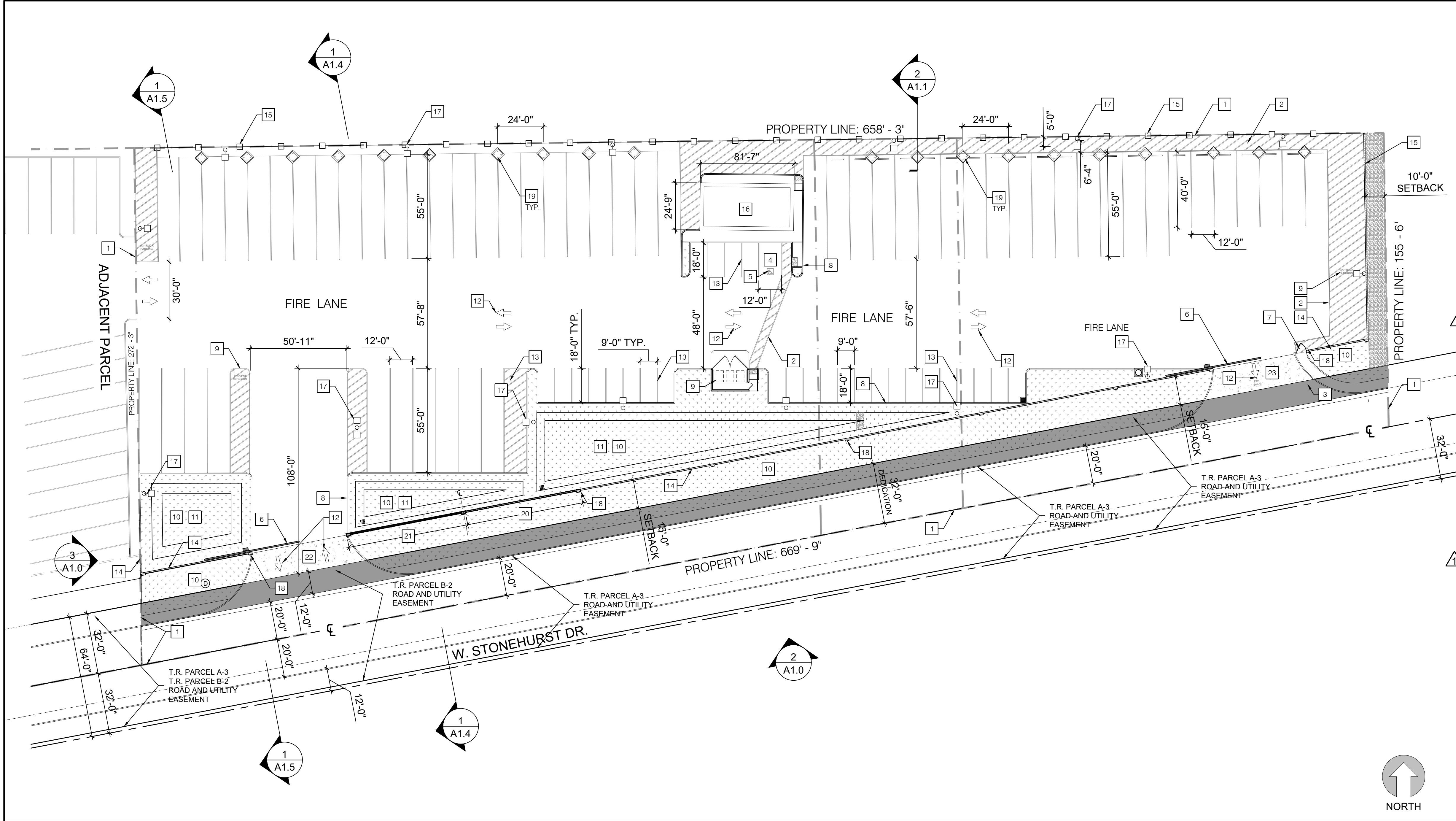


KEYNOTES

- PROPERTY LINE
- ADA PATH OF TRAVEL
- ADA PATH OF TRAVEL TO CONNECT TO FUTURE OFF-STREET IMPROVEMENTS
- VAN ACCESSIBLE PARKING STALL - PAINT ACCESSIBLE LOADING ZONE PER OTC STANDARDS FOR ACCESSIBLE PARKING PLACES. PAVEMENT MARKINGS AND STENCILS ARE TO BE 4" WIDE STRIPING WHITE AND SHOULD BE RETROREFLECTIVE PAINT. PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS WITHIN THE LOADING ZONE.
- INTERNATIONAL SYMBOL AT PARKING STALL. REFER. TO DET. 8/A0.02
- PROPOSED ROLLING GATE - HOLLOW STEEL SECTION FRAME W/ CORRUGATED METAL PANEL. PAINTED "SW 7549 - STUDIO TAUPÉ"
- PROPOSED PEDESTRIAN ACCESS GATE.
- 6" CONCRETE CURB (TYP.).
- PROPOSED TRASH ENCLOSURE.
- LANDSCAPING - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- RETENTION BASIN. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- DIRECTIONAL ARROW. "GATE TO REMAIN OPEN DURING OPERATING HOURS".
- PARKING STRIPING PER CITY STANDARDS (TYP.).
- PROPOSED TAN SPLIT FACE CMU WALL 8". INCORPORATE DECORATIVE CAP ALONG ENTIRE WALL LENGTH AND COLUMNS. MATCH CAP COLORS TO THE CMU WALL
- PROPOSED 8" HIGH WROUGHT IRON FENCE.
- EXISTING BUILDING TO REMAIN.
- SITE LIGHTING TYP.
- CMU PILASTERS EVERY 70 LINEAR FEET AND AT ALL CORNERS AND ENDS OF THE WALL
- LANDSCAPE DIAMONDS @ ± 24'-0"
- CMU WALL SECTION AT 10'-0" HEIGHT. TOTAL LENGTH 61'-4". INCORPORATE DECORATIVE CAP ALONG ENTIRE WALL LENGTH. MATCH CAP COLORS TO THE CMU WALL
- CMU WALL SECTION AT 12'-0" HEIGHT. TOTAL LENGTH 63'-4". INCORPORATE DECORATIVE CAP ALONG ENTIRE WALL LENGTH. MATCH CAP COLORS TO THE CMU WALL
- DUAL-DIRECTION TRAFFIC ENTRY/EXIT POINT.
- EXIT ONLY ACCESS POINT.

STREET SECTION

DIMENSIONS		STRUCTURAL SECTION	# OF TRAVEL LANES
STREET-TYPE	A B C D E MIN. A.C. MIN. A.B.		
COLLECTOR	64' 40' 12' - .14' 4" 6"		2 LANES 2 PARKING

THE STRUCTURAL SECTION DESIGN FOR ALL STREETS SHALL BE DETERMINED USING THE FORMULAS CONTAINED IN THE CALIFORNIA DEPARTMENT OF TRANSPORTATION HIGHWAY DESIGN MANUAL TABLES 608.4 AND 608.4B AND IN NO CASE SHALL THE DESIGN SECTIONS BE LESS THAN THE MINIMUMS SHOWN.

GENERAL NOTES:

- STREET DIMENSIONS MAY VARY IN SPECIFIC PLAN AREAS.
- T.I.=10 FOR ALL TRUCK ROUTES AND ARTERIAL STREETS. SOIL TESTING AND CALCULATIONS WILL BE REQUIRED FOR PAVEMENT SECTION RECOMMENDATIONS.
- FOR SIDEWALK, REFER TO STANDARD DRAWINGS SC-203, SC-204, SC-205, AND SC-206.
- LEVEL LINE OFFSETS ARE BASED UPON A STRAIGHT GRADE CROSSFALL OF 2% "E".

SITE INFORMATION

APN: 113-071-08-0-000, 1133-071-09-0-000, 1133-071-10-0-000

SITE SIZE: 85,440 SQFT.

ZONING DESIGNATION: INDUSTRIAL

LAND USE DESIGNATION: GENERAL MANUFACTURING

EXISTING BUILDING SIZE: +/- 1,220 SQFT

LANDSCAPED AREA: +/- 21,650 SQFT

PARKING TABULATION:

STANDARD 9X18 STALLS REQUIRED:	5
STANDARD 9X18 STALLS PROVIDED:	27
VAN ACCESSIBLE STALLS PROVIDED:	1
12X40 TRUCK STALLS PROVIDED:	7
12X55 TRUCK STALLS PROVIDED:	51

PRELIMINARY PLAN NOTE

THIS PLAN HAS BEEN PREPARED WITH THE BEST AVAILABLE INFORMATION PROVIDE BY THE CUSTOMER, WITHOUT THE BENEFIT OF A SURVEY IN SOME CASES. THE ENGINEER HAS NOT CONDUCTED ANY CODE RESEARCH REGARDING BUT NOT LIMITED TO, PERMITTED USES, SETBACKS, BUFFERS, ACCESS, REQUIRED PARKING, LANDSCAPING, FAR, ISR STORM WATER MANAGEMENT, UTILITIES, RIGHT OF WAY ACQUISITION OR EASEMENTS TO BENEFIT ACCURATE LAYOUT ORIENTATION AND CONFIGURATION.

Job#: DM0002

Scale:

Date:

Drawn By:

Checked By:

TAIT

3983 Ruffin Road Suite B
San Diego, CA 92123
Tel: 619.444.0000
Fax: 619.444.0811
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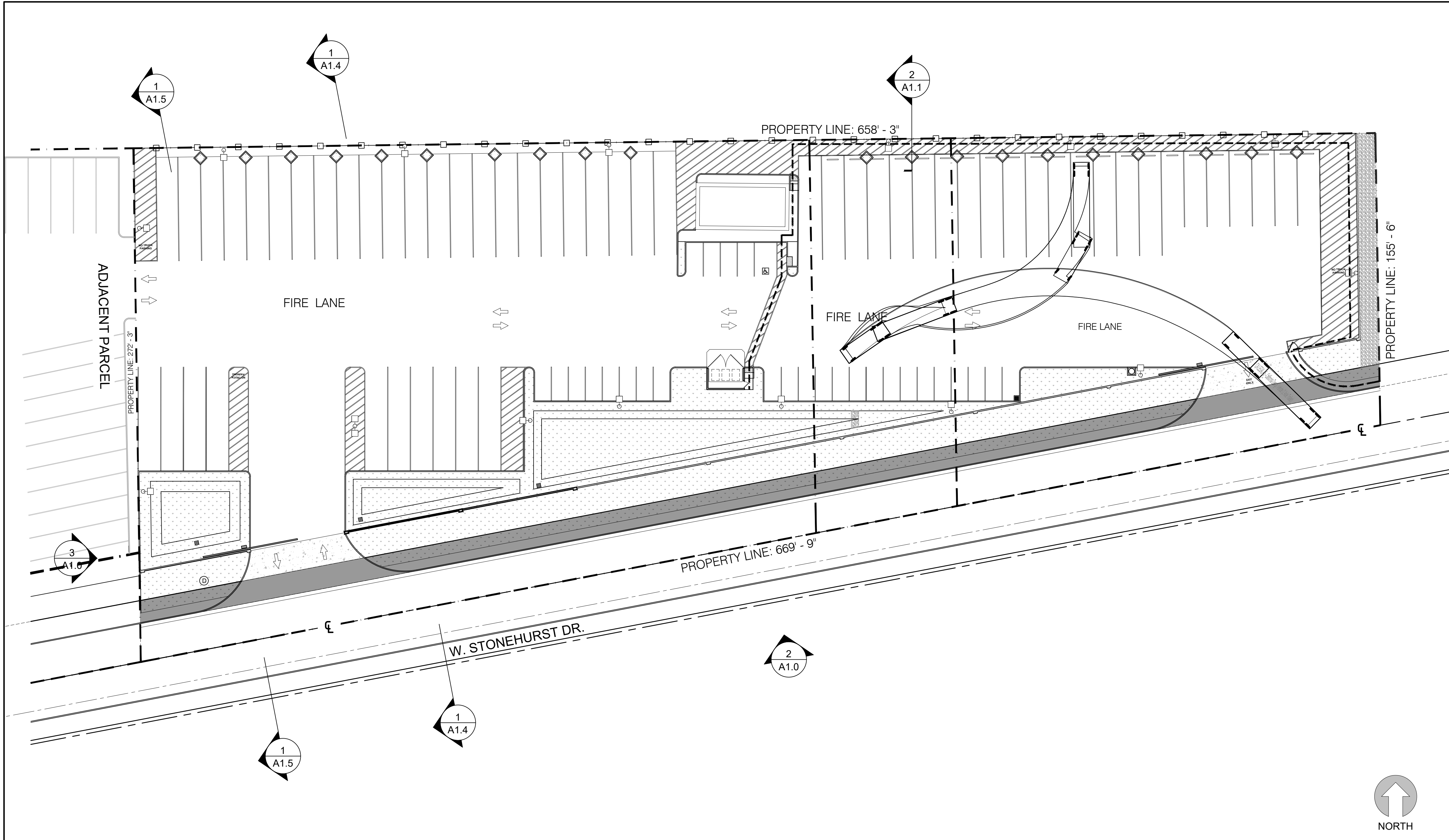
APR 27 2025

NO. C 27416

STATE OF CALIFORNIA

SHEET:

A1.0



SITE LEGEND

HANDICAP PARKING	
BOUNDARY LINE	
CENTER LINE OF ROAD	
LANDSCAPE	
ADA PATH	

Rev. #	Date	Description
1	05/01/2025	ACCESS UPDATE

PEDESTRIAN ROUTES EXHIBIT

ADA PATH OF TRAVEL DETAIL

KEYNOTES

- PROPERTY LINE
- LANDSCAPE DIAMONDS
- LANDSCAPING - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- PARKING STRIPING PER CITY STANDARDS (TYP.).
- PROPOSED CMU WALL 8' MAXIMUM HEIGHT.
- SITE LIGHTING TYP.
- CMU PILASTERS EVERY SEVENTY (70)
- PROPOSED 8' HIGH WROUGHT IRON FENCE.
- ADA PATH OF TRAVEL

PRELIMINARY PLAN NOTE

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Fax: 619.444.8801
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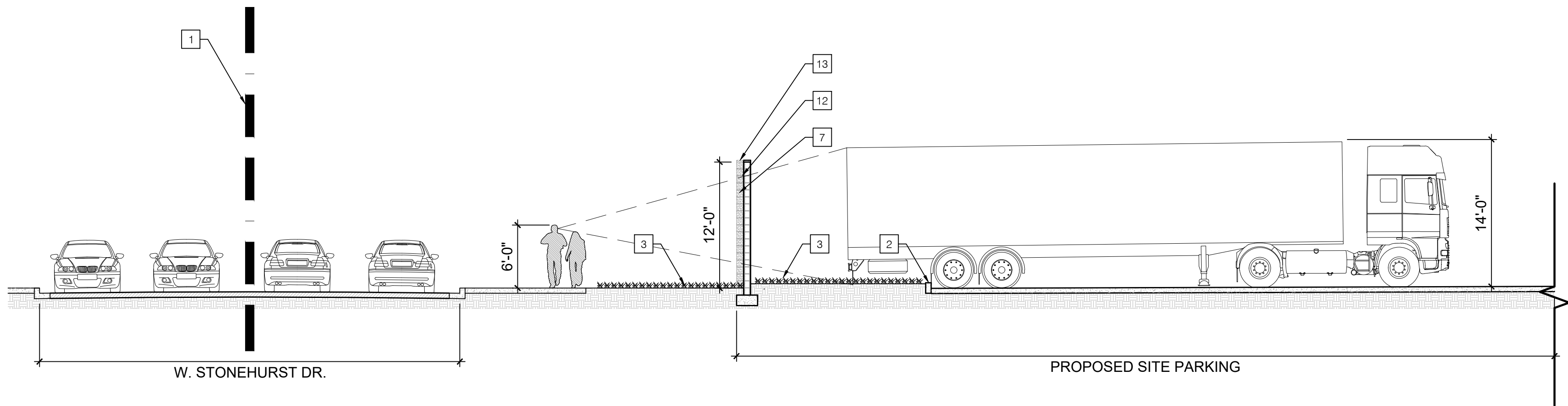
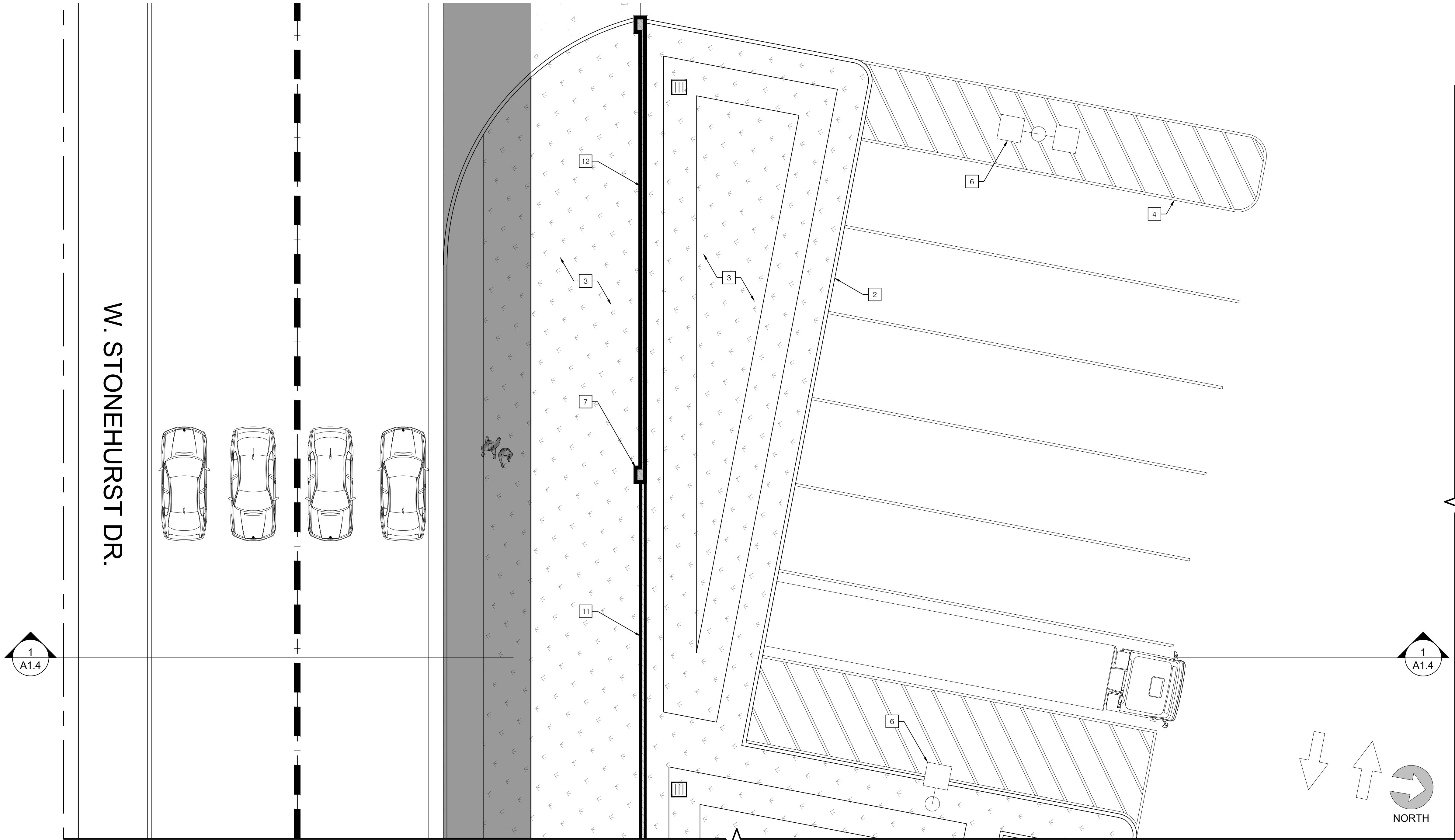
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Exp. 12/31/24
STATE OF CALIFORNIA

SHEET:
A1.1



LINE OF SIGHT

SCALE
1/8" = 1'-0"

1

KEYNOTES

- 1 PROPERTY LINE
- 2 6" CONCRETE CURB (TYP.).
- 3 LANDSCAPING - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 PARKING STRIPING PER CITY STANDARDS (TYP.).
- 5 PROPOSED CMU WALL 8'-0" MAXIMUM HEIGHT.
- 6 SITE LIGHTING TYP.
- 7 CMU PILASTERS EVERY SEVENTY (70)
- 8 4" CONCRETE FILLED PIPE BOLLARD @ 48" O.C.
- 10 ADA PATH OF TRAVEL
- 11 CMU WALL SECTION AT 10'-0" HEIGHT.
- 12 CMU WALL SECTION AT 12'-0" HEIGHT.
- 13 INCORPORATE DECORATIVE CAP ALONG ENTIRE WALL LENGTH AND COLUMNS. MATCH CAP COLORS TO THE CMU WALL

Rev. #	Date	Description
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P: 619.444.8800
F: 714.562.8311
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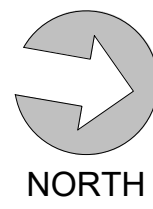
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SHEET:
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SCALE

$$1/8^3 = 1^3 - 0^3$$

- 1 PROPERTY LINE
- 2 6" CONCRETE CURB (TYP.).
- 3 LANDSCAPING - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 PARKING STRIPING PER CITY STANDARDS (TYP.).
- 5 PROPOSED CMU WALL 8'-0" MAXIMUM HEIGHT.
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- 10 ADA PATH OF TRAVEL
- 11 CMU WALL SECTION AT 8'-8" HEIGHT
- 12 INCORPORATE DECORATIVE CAP ALONG ENTIRE WALL LENGTH AND COLUMNS. MATCH CAP COLORS TO THE CMU WALL.

SHEET:
A1.5