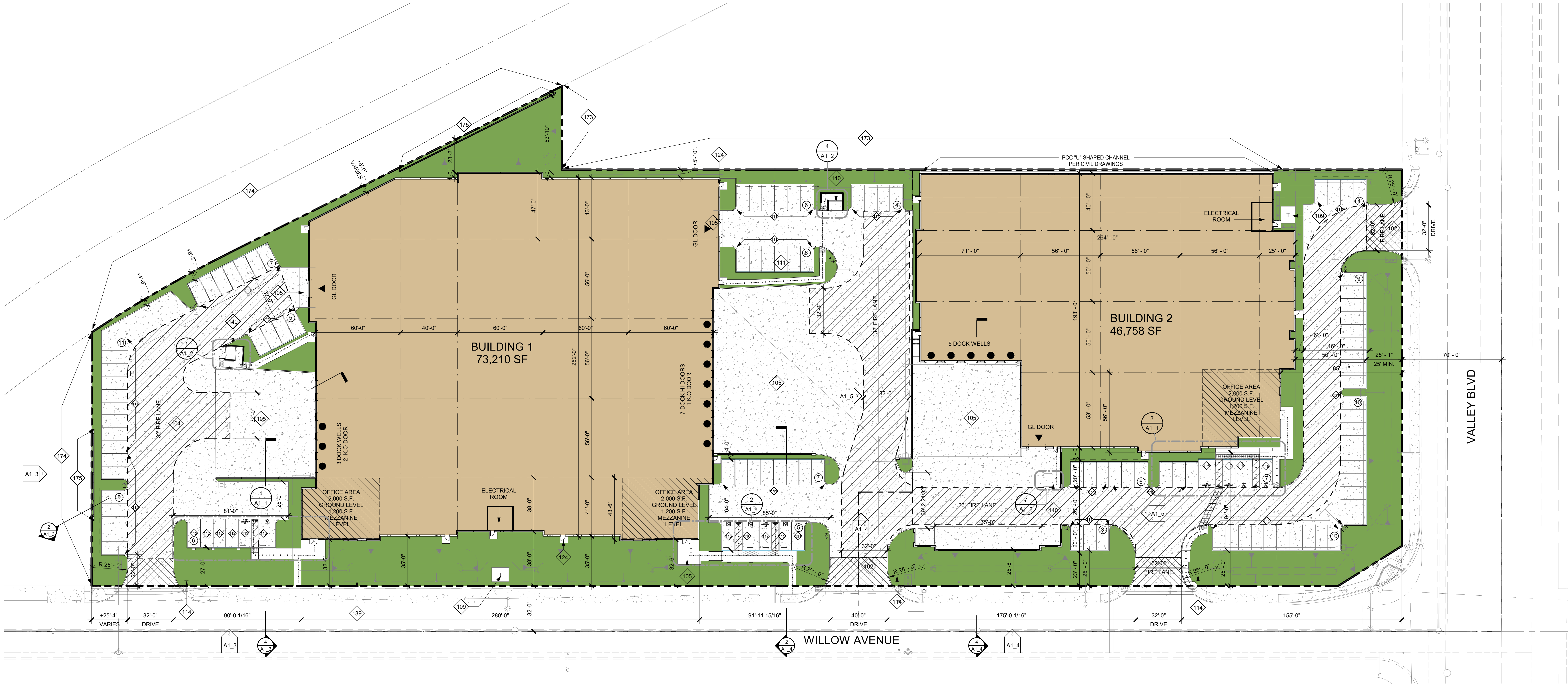




1 PROPOSED SITE PLAN
1" = 30'-0"

DEVELOPER/OWNER	SITE PLAN GENERAL NOTES	SHEET INDEX	KEYNOTES
ADDRESS: INVESTING BUILDING GROUP CONTACT: BRIAN BARGEMANN PHONE: 949.283.1111 EMAIL: BRIANB@IBG-USA.COM	1. THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS. 2. GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS. 3. U.O.N., ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH. 4. REFER TO CIVIL AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECTS SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION. 5. REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY. 6. ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING: a) SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5%. CROSS SLOPES DO NOT EXCEED 2%. b) THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN. c) CHANGES IN LEVEL UP TO 1/2" COMPLY w/ 11AD.2.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS d) THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 8'-0" MIN. 7. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 8" WIDE CONCRETE CURB U.O.N. 8. A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3" VERTICAL OF THE FINISHED GRADE. SEE 2/AD1.1 10. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/AD1.1 11. ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FORREST GREEN. 12. WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 19/AD1.1	A0 TITLE SHEET A1 SITE PLAN A1.1 ENLARGED SITE PLANS A1.2 ENLARGED SITE PLANS A1.3 SCREEN WALL PLAN & ELEVATIONS A1.4 AERIAL IMAGE A1.5 SITE PHOTOS A2.1 GROUND LEVEL FLOOR PLAN, BUILDING 1 A2.2 GROUND LEVEL FLOOR PLAN, BUILDING 2 A3.1 ROOF PLAN BUILDING 1 A3.2 ROOF PLAN BUILDING 2 A4.1 EXTERIOR ELEVATIONS BUILDING 1 A4.2 EXTERIOR ELEVATIONS BUILDING 2 A4.3 MATERIAL BOARD A4.4 AERIAL VIEW A5 AERIAL VIEW C1 TITLE SHEET C2 DEMOLITION PLANS C3 PRECISE GRADING PLANS C4 PRECISE GRADING PLANS C5 SECTIONS AND DETAILS C6 TRUCK TURNING TEMPLATE C7 TRUCK TURNING TEMPLATE L1 CONCEPTUAL LANDSCAPE PLAN L2 CONCEPTUAL LANDSCAPE PLAN E1 PHOTOMETRIC PLAN	102 PROPOSED DRIVEWAY, PER JURISDICTIONAL STANDARDS. 104 ASPHALT PAVING. 105 CONCRETE PAVING. 109 (N) TRANSFORMER LOCATION. 111 TYP U.O.N., STANDARD PARKING STALL. 9'-0" WIDE x 20'-0" DEEP 112 EV (ELECTRIC VEHICLE) CAPABLE PARKING STALL. PROVIDE FOR FUTURE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT). MATCH STANDARD STALL SIZE 113 EVCS (ELECTRIC VEHICLE CHARGING STATION). PROVIDE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT). MATCH STANDARD STALL SIZE. 114 ACCESSIBLE SITE ENTRANCE SIGN. 115 STANDARD ACCESSIBLE PARKING STALL. 9'-0" WIDE x DEPTH OF STANDARD STALL. 116 VAN ACCESSIBLE PARKING STALL. 12'-0" WIDE x DEPTH OF STANDARD STALL. 117 STANDARD ACCESSIBLE EVCS (ELECTRIC VEHICLE CHARGING STATION). 9'-0" WIDE x DEPTH OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT. 118 VAN ACCESSIBLE EVCS (ELECTRIC VEHICLE CHARGING STATION). 12'-0" WIDE x DEPTH OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT. 124 EXTERIOR CONCRETE LANDING. 139 RETAINING WALL 140 TRASH ENCLOSURE w/ ROOF COVERING. 173 EXISTING SCREEN WALL TO REMAIN. 174 EXISTING CHAIN LINK FENCE TO REMAIN. 175 CONCRETE TILT-UP SCREEN WALL. MIN HEIGHT 5'-0". ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.
APPLICANT'S REPRESENTATIVE/ARCHITECT			
HERDMAN ARCHITECTURE & DESIGN, INC. 100 BAYVIEW CIRCLE SUITE 100 NEWPORT BEACH, CA 92660 CONTACT: BRIDGET HERDMAN PHONE: 714.393.2800 EMAIL: BRIDGET@HERDMAN-AD.COM			
SCOPE OF WORK			
CONSTRUCT TWO NEW ONE STORY + MEZZANINE CONCRETE TILT-UP WAREHOUSE/DISTRIBUTION FACILITIES WITH ELECTRICAL AND PLUMBING SERVICES, EXTERIOR LIGHTING, LANDSCAPING & IRRIGATION, TRASH ENCLOSURES, CONCRETE SCREEN WALLS, FIRE SPRINKLER AND GRADING PLANS TO BE A SEPARATE SUBMITTAL AND PERMIT			
LEGAL DESCRIPTION & ZONING			
LEGAL DESCRIPTION: SEE CIVIL PLAN ASSESSOR'S PARCEL NO: 0132-204-04, 0132-182-08 & -09 SPECIFIC PLAN LEGEND: GATEWAY SPECIFIC PLAN ZONING: F-C (FREWAY COMMERCIAL)			
PROJECT INFORMATION		VICINITY MAP	SITE LEGEND
PROJECT INFORMATION - SCH 13 11.26.2024 BUILDING 1 NET SITE AREA 262,157 SF 6.02 AC NET FAR 45.8% MAX FAR N/A SPECIFIC PLAN GATEWAY SPECIFIC PLAN ZONE F-C (FREWAY COMMERCIAL) STREET SETBACK 25' * INT/REAR SETBACK 0' *SETBACK @ 1' PER 1' OF BUILDING HEIGHT CONSTRUCTION TYPE III-B ALLOWED MAX HEIGHT 55' LANDSCAPE REQUIRED 10% 26,236 SF LANDSCAPE PROVIDED 19.6% 51,477 SF	BUILDING AREA 73,210 SF FOOTPRINT 70,810 SF WAREHOUSE 66,810 SF OFFICE 4,000 SF MEZZANINE 2,400 SF OFFICE 2,400 SF PARKING REQUIRED 60 WAREHOUSE @ 1/1,000 <10K SF 10 WAREHOUSE @ 1/2,000 >10K SF 29 GROUND FLOOR OFFICE @ 1/250 16 NON-GROUND FLOOR OFFICE @ 1/500 5 PARKING PROVIDED 62 STANDARD 47 VAN ADA 1 STND ADA 2 VAN EVCS 1 STND EVCS 1 EV CAPABLE 10	BUILDING AREA 46,758 SF FOOTPRINT 45,558 SF WAREHOUSE 43,558 SF OFFICE 2,000 SF MEZZANINE 1,200 SF OFFICE 1,200 SF PARKING REQUIRED 38 WAREHOUSE @ 1/1,000 <10K SF 10 WAREHOUSE @ 1/2,000 >10K SF 17 GROUND FLOOR OFFICE @ 1/250 8 NON-GROUND FLOOR OFFICE @ 1/500 3 PARKING PROVIDED 49 STANDARD 39 VAN ADA 1 STND ADA 1 VAN EVCS 1 STND EVCS 1 EVCS 6	RIVERSIDE AVE SAN BERNARDINO AVE VALLEY BLVD 10 FRY WILLOW AVE PROJECT LOCATION NORTH LANDSCAPE AREA CONCRETE PAVING. SEE CIVIL DRAWINGS FOR PAVING SECTIONS FIRE HYDRANT. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED. SEE 3/AD1.1 STREET LIGHT INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY W/ SITE PLAN GENERAL NOTE #6 PROPERTY LINE DOCK HIGH DOOR DRIVE THRU. DOOR