

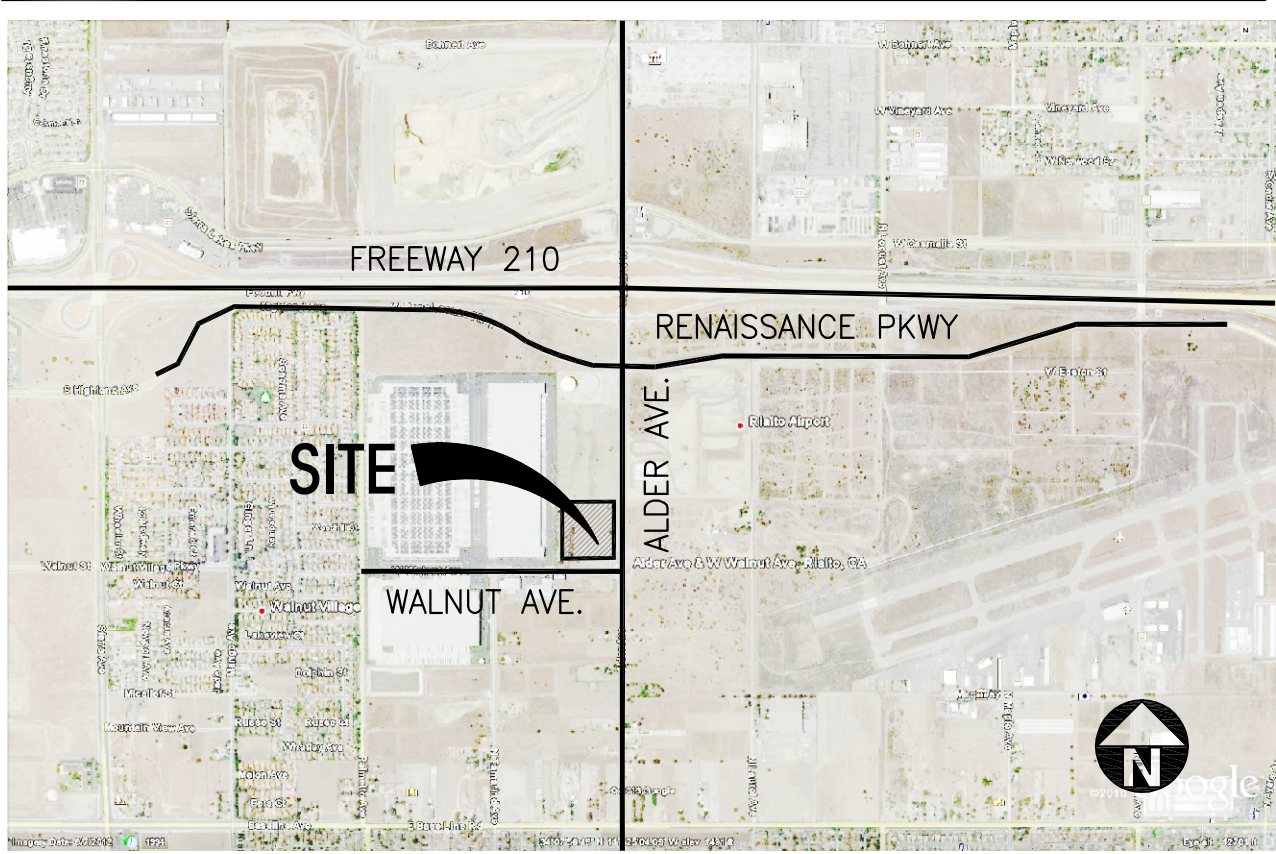
UTILITY INFORMATION

WATER FONTANA WATER COMPANY 8440 NUEVO AVENUE FONTANA, CA 92335 PHONE: (909) 822-2201 PHONE: (909) 823-5046 ATTN: MICHAEL J. MCGRAW	ELECTRIC SOUTHERN CALIFORNIA EDISON 1351 E. FRANCIS AVENUE ONTARIO, CA 91751 PHONE: (909) 357-6233 FIRE PROTECTION CITY OF RIALTO FIRE DEPARTMENT 131 SOUTH WILLOW STREET RIALTO, CA 92376	SEWER CITY OF RIALTO 150 SOUTH PALM AVENUE RIALTO, CA 92376 PHONE (909) 820-2546 TELE COMMUNICATIONS TIME WARNER CABLE 1500 S. AUTO CENTER DR. ONTARIO, CA 91761 ATTN: JAMES MOCK PHONE (909) 975-3439	TELEPHONE SERVICE AT&T 1265 VAN BUREN ST., RM 100 ANAHEIM, CALIFORNIA 91761 ATTN: BOB STURTEVANT PHONE: (714) 237-7195 GAS SOUTHERN CALIFORNIA GAS COMPANY 1981 LUGONIA AVENUE REDLANDS, CA 92373-0306 PHONE: (909) 428-8401
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PROJECT INFORMATION

Project Address NORTHWEST CORNER OF WALNUT AVENUE AND ALDER AVENUE RIALTO, CALIFORNIA	Assessors Parcel Number APN: 0240-191-18 (PARCEL A) APN: 0240-191-22 (PARCEL B) APN: 0240-191-26 (PARCEL C) APN: 0240-191-27 (PARCEL D)	Code APN: 0240-191-23 (PARCEL 1) APN: 0240-191-25 (PARCEL 2) APN: 0240-191-28 (PARCEL 3) APN: 0240-191-29 (PARCEL 4)	Zoning BUILDING RENAISSANCE SPECIFIC PLAN EMPLOYMENT
Owner/Applicant ALDER OPPORTUNITY, LLC 29411 SW BIRCH ST, SUITE 200 NEWPORT BEACH, CA 92660 PHONE: (949)-296-2943 CONTACT: JACOB LEBLANC	Code Analysis CONCRETE TILT-UP BUILDING BUILDING OCCUPANCY: CONSTRUCTION TYPE: AUTOMATIC FIRE SPRINKLER ACTUAL PARAPET ACTUAL AREA ACTUAL AREA (BASIC) ACTUAL AREA INCREASED W/ 60' MIN. YARD ON 4 SIDES	Parcel Map Legal Description TENTATIVE PARCEL MAP NO. 197226 IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, BEING A CONSOLIDATION OF A PORTION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO U.S. GOVERNMENT TOWNSHIP PLAT FILED IN THE OFFICE OF THE SURVEYOR GENERAL ON JUNE 24, 1898, AS PER PLAT MAP OF SAID COUNTY.	
Applicant's Representative HPA, INC. 18831 BARDEEN AVE. - STE# 100 IRVINE, CA 92612 CONTACT: HOON KEUN PARK PHONE: (949) 862-2116 FAX: (949) 863-0851			
Legal Description THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: PARCEL 1: THE NORTH ¼ OF THE FOLLOWING DESCRIBED PARCEL: THAT PORTION OF THE EAST ¼ OF THE SOUTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO GOVERNMENT TOWNSHIP PLAT THEREOF, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 530 FEET NORTH OF THE SOUTHEAST CORNER OF THE EAST ¼ OF THE SOUTHEAST ¼ OF THE NORTHEAST ¼ OF SAID SECTION 32; THENCE NORTH 100 FEET; THENCE WEST 435.60 FEET; THENCE SOUTH 100 FEET; THENCE EAST 435.60 FEET TO THE POINT OF BEGINNING. APN(S): 240-191-023-0-000 PARCEL 2: THE NORTH 30 FEET OF THE EAST 435.60 FEET OF THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT TOWNSHIP PLAT THEREOF. NOTE: THE EASTERLY AND WESTERLY LINES OF THE ABOVE DESCRIBED REAL PROPERTY ARE TO BE PROLONGATED OR SHORTENED SO AS TO BE ADJACENT TO AND CONTIGUOUS WITH THE NORTHERLY LINE OF PARCEL 1 ABOVE. APN(S): 240-191-025-0-000 PARCEL 3: THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF. EXCEPTING THEREFROM THE EAST 635.6 FEET. APN(S): 240-191-28-0-000 PARCEL 4: THAT PORTION OF THE EAST ¼ OF THE SOUTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO GOVERNMENT TOWNSHIP PLAT THEREOF, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 435.60 FEET WEST OF THE SOUTHEAST CORNER OF THE EAST ¼ OF THE SOUTHEAST ¼ OF THE NORTHEAST ¼ OF SAID SECTION 32; THENCE NORTH 660 FEET TO THE NORTH LINE OF THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SAID SECTION 32; THENCE WEST 200 FEET; THENCE SOUTH 660 FEET TO THE SOUTH LINE OF THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF THE NORTHEAST ¼ OF SAID SECTION 32; THENCE EAST 200 FEET TO THE POINT OF BEGINNING. APN(S): 0240-191-29-0-000 PARCEL 5: A PORTION OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE & MERIDIAN, IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF. BEGINNING AT A POINT 330 FEET NORTH OF THE SOUTHEAST CORNER OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 32; THENCE NORTH 100 FEET; THENCE WEST 435.60 FEET; THENCE SOUTH 100 FEET; THENCE EAST 435.60 FEET TO THE POINT OF BEGINNING. EXCEPTING THEREFROM THAT PORTION DESCRIBED IN DEED TO THE CITY OF RIALTO ON MAY 3, 1984 AS INSTRUMENT NO. 84-104198 OF OFFICIAL RECORDS. APN: 0240-191-18-0-000 PARCEL 6: THAT PORTION OF THE EAST 1/2 OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO GOVERNMENT TOWNSHIP PLAT THEREOF, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 430 FEET NORTH OF THE SOUTHEAST CORNER OF THE EAST 1/2 OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 32; THENCE NORTH 100 FEET; THENCE WEST 435.60 FEET; THENCE SOUTH 100 FEET; THENCE EAST 435.60 FEET TO THE POINT OF BEGINNING. APN: 0240-191-22-0-000 PARCEL 7: THE NORTH 50 FEET OF THE SOUTH 580 FEET OF THE EAST 435.6 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO U.S. GOVERNMENT TOWNSHIP PLAT FILED IN THE OFFICE OF THE SURVEYOR GENERAL ON JUNE 24, 1898. APN:0240-191-26-0-000 PARCEL 8: THE SOUTH 330 FEET OF THE EAST 435.60 FEET OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF RIALTO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO U.S. GOVERNMENT SURVEY THEREOF. EXCEPTING THEREFROM THE EAST 50 FEET AS CONVEYED TO THE CITY OF RIALTO IN DEED RECORDED MARCH 16, 1984, AS INSTRUMENT NO.84-061685 OF OFFICIAL RECORDS. APN: 0240-191-27-0-000			

VICINITY MAP



TABULATION

SITE AREA	407,230 s.f. 9.3 acres
BUILDING AREA	
Office	2,000 s.f.
Second Floor Office	2,500 s.f.
Warehouse	196,345 s.f.
TOTAL	200,845 s.f.
COVERAGE	49%
AUTO PARKING REQUIRED	
Office: 1/250 SF	8 stalls
Second Floor Office: 1/250 SF	10 stalls
Whse: 1st 40k @ 1/1,000 SF	40 stalls
above 40k @ 1/4,000 SF	40 stalls
TOTAL	98 stalls
AUTO PARKING PROVIDED	
Standard (9'x18')	91 stalls
Handicapp (9'x18')	5 stalls
Passenger Loading (9'x18') 2 provided	2 stalls
TOTAL	98 stalls
TRAILER PARKING PROVIDED	
Trailer (10' x 53')	33 stalls
MAXIMUM FLOOR AREA RATIO	
FAR:	40%
Bonus Features*	
- Lot Consolidation:	4%
- LEED Certification:	2%
- Public Art:	2%
- Landmark Intersection Feature	2%
Total Allowable FAR:	50%
LANDSCAPE REQUIREMENT	
Percentage -	10%
LANDSCAPE PROVIDED	59,212
Percentage -	14.5%
SETBACKS	
Walnut Ave - 22'-6" Min Landscape 49' Average	
Alder Ave - 27' Min Landscape 30' Average	
LANDSCAPE EASEMENTS	
Alder - 10'	
ZONING ORDINANCE FOR CITY	
Zoning Designation - Renaissance Specific Plan	
Employment	
* Maximum FAR may be increased with qualifying features as noted on Nonresidential Incentives section on the Renaissance Specific Plan.	

SITE PLAN KEYNOTES

- 1

HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2

NOT USED.
- 3

CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4

DRIVEWAY APRONS WITH DECORATIVE PAVEMENT.
- 5

5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6

APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E..
- 7

PROVIDE METAL GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. CONTRACTOR TO DESIGN & DETAIL GATES. DRAWINGS AND CALCULATIONS PRIOR TO FABRICATION. PROVIDE CONDUIT FOR FUTURE.
- 8

CONCRETE RAMP
- 9

BIKE RACK TYPICAL.
- 10

EXISTING STREET LIGHT

11

EXTERIOR CONCRETE STAIR.

12

12' x 14' DRIVE-IN DOOR

13

LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING

14

6' HIGH TUBULAR METAL FENCE

15

VARYING HEIGHT RETAINING WALL AND VARYING HEIGHT CONCRETE SCREEN WALL, MINIMUM 14' HIGH FROM FINISH SURFACE OF TRUCK CURB

16

14' HIGH CONCRETE SCREEN WALL

17

RETAINING WALL WITH 42" HIGH GUARD RAIL

18

PRE-CAST CONC. WHEEL STOP.

19

CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H.

20

EMERGENCY ACCESS MAIN GATE.

21

TRASH ENCLOSURE.

22

DETENTION BASIN ACCESS ROAD.

23

FIRE HYDRANTS W/ CONC. FILLED STEEL GUARD POST

24

BUSINESS MARKER

25

FUTURE STREET LIGHT ALONG ALDER AVE.

26

PROPOSED FIRE HYDRANTS (STREET SIDE)

27

EXISTING STREET LIGHT TO BE RELOCATED

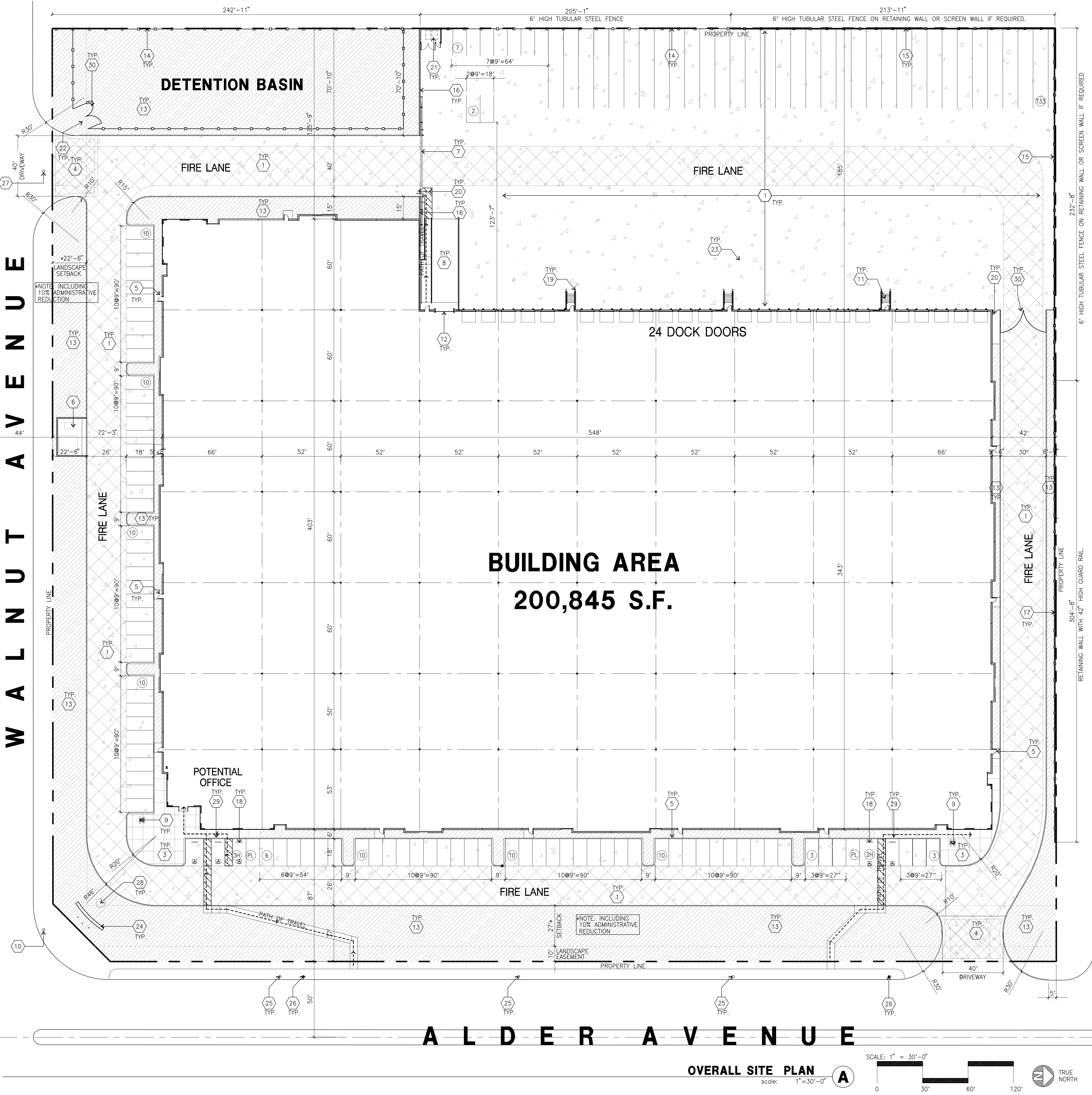
28

PUBLIC ART - 12' x 36" SCULPTURE

29

HANDICAP PARKING STALL SIGN

30

METAL SWING GATE.

SITE PLAN GENERAL NOTES

1.

THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY PROJECT NO DATED
2.

IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3.

ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4.

SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5.

THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6.

SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7.

PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8.

CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9.

SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10.

CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.

11.

ALL BUILDINGS OF 5,000 S.F. IN SIZE WILL HAVE FIRE SPRINKLERS INSTALLED.

12.

PAIN CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.

13.

CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.

14.

PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.

15.

KNOX BOXES WILL BE INSTALLED FOR ALL LEASE SPACES.

16.

ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.

17.

NOT USED.

18.

ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.

19.

LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB

20.

THE "ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.

SITE PLAN GENERAL NOTES

- CONCRETE PAVING - SEE "C" DRWS. FOR THICKNESS

STANDARD PARKING STALL 9'-0" X 18'

HANDICAP PARKING STALL, 9' X 18' + 5' W/ ACCESSIBLE AISLE

VAN ACCESSIBLE HANDICAP STALL, 12' X 18' + 5' W/ ACCESSIBLE AISLE

PATH OF TRAVEL

LANDSCAPE AREAS
- LIGHT STANDARD

EXISTING PUBLIC FIRE HYDRANT

PRIVATE FIRE HYDRANT- APPROXIMATE LOCATION

CATCH BASIN APPROX. LOCATION

WATER LINE - SEE CIVIL

GAS LINE - SEE CIVIL

SEWER LATERAL SEE CIVIL



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Project:
**I-210
LOGISTICS
CENTER V**

Rialto, CA 92376

Consultants:

Civil: Thienes Engineering
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Hunter Landscape
Fire Protection:
Soils Engineer: So Cal Geotechnical

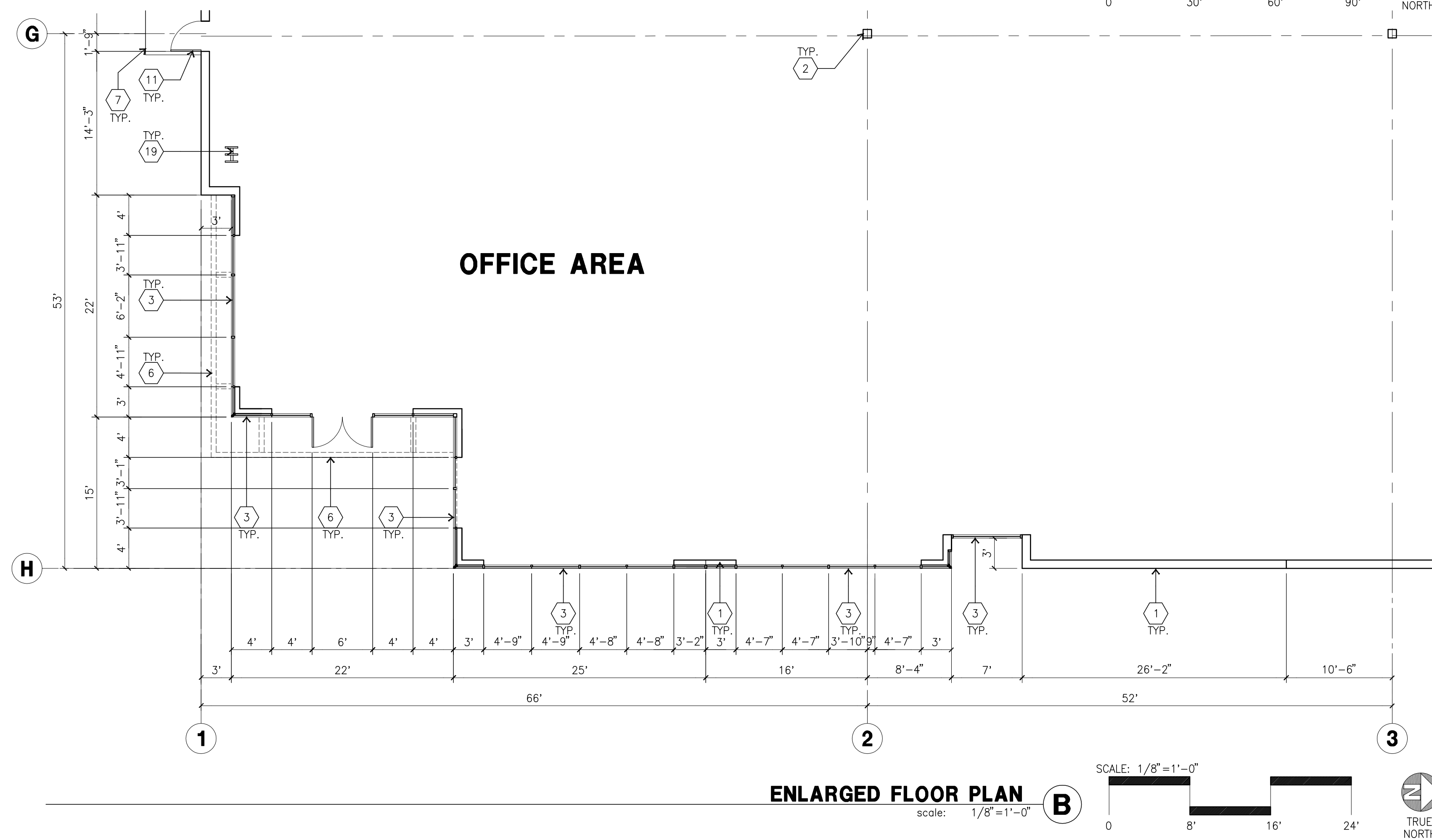
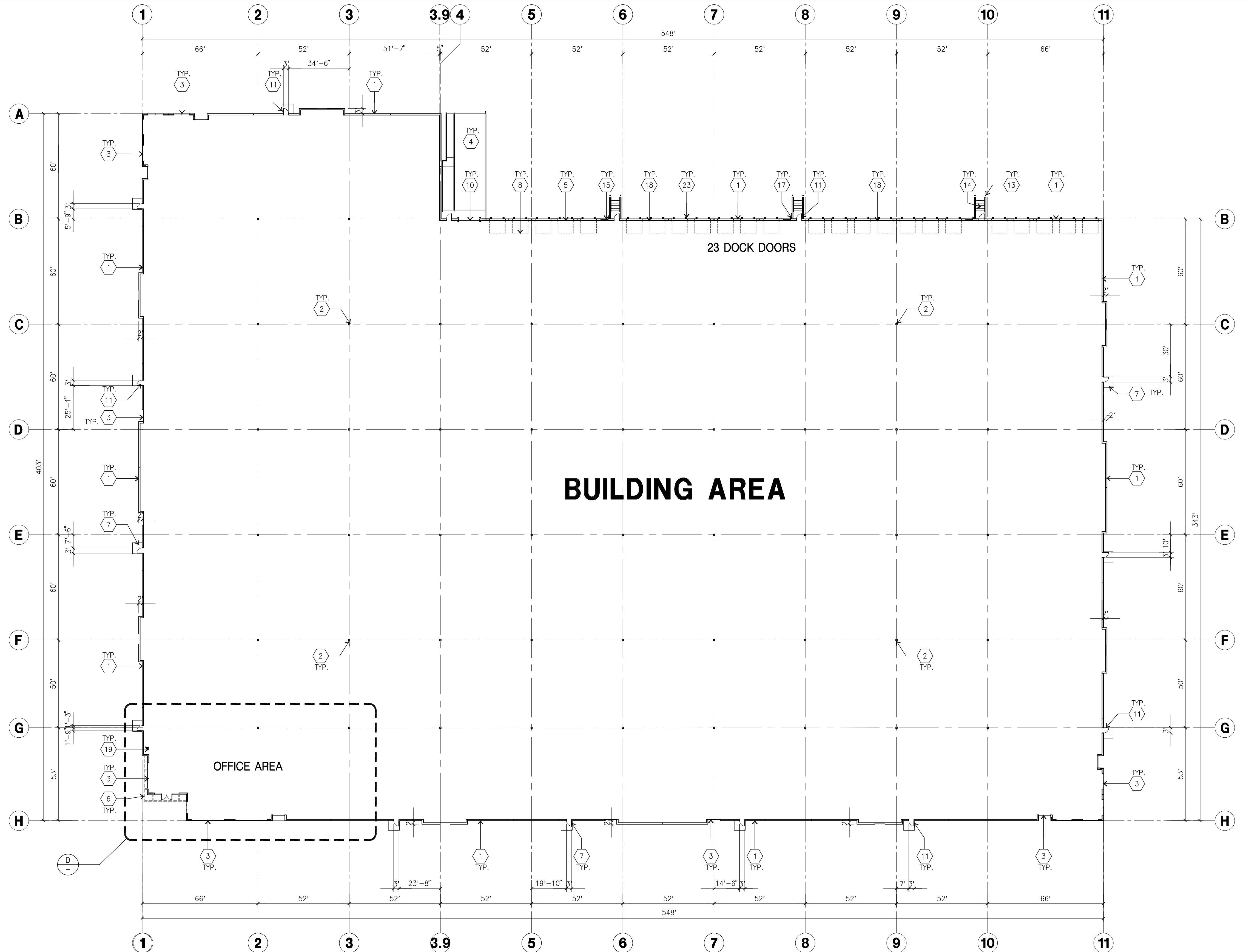
Title: overall site plan

Project Number: 13082
Drawn by: G.V.
Date: 03/23/16

Revision:

Sheet:

DAB-1.1



KEYNOTES-FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP.
- 5 9'X10' TRUCK DOOR. SECTIONAL O.H., STANDARD GRADE. ALL DOCKS DOOR WITH CONDUITS AND JUNCTION BOX FIR FUTURE.
- 6 METAL CANOPY.
- 7 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 DOCK LEVELER
- 9 NOT USED
- 10 12"X14" GRADE LEVEL DOOR, SECTIONAL O.H., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONCRETE FILLED GUARD POST. 6" DIA. U.N.O. 42"H.
- 14 CONCRETE STAIRS AND LANDING.
- 15 4'X8' METAL LOUVER
- 16 INTERIOR ROOF DRAIN AND OVERFLOW DRAIN.
- 17 EXTERIOR METAL DOWNSPOUT WITH OVERFLOW SCUPPER.
- 18 Z-GUARD DOCK DOOR PROTECTION
- 19 INTERIOR BIKE RACK
- 20 NOT USED
- 21 NOT USED
- 22 NOT USED
- 23 DOCK DOOR BUMPER

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT APPROXIMATELY 100' MAXIMUM O.C. A SEPERATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPE AT 0.5%
- D. PROVIDE 6" DIA. COCNETRE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. NOT USED

- F. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- G. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- H. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- I. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- J. ALL MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. EXITS MARKED WITH AN ● SHALL ALSO BE PROVIDED WITH A SIGN ON THE INTERIOR SIDE OF THE DOOR STATING "NOT A WHEELCHAIR ACCESSIBLE EXIT." REMOVE ALL ACCESS HARDWARE ON EXTERIOR SIDE OF THE DOOR.
- K. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.

FLOOR NOTES AND POUR STRIPS REQUIREMENTS

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB: SEE "S" DWGS
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-89
 5. SLAB SAW-CUT TO BE DONE WITH A "SOFT CUT" G-2000 OR LARGER MACHINE IMMEDIATELY AFTER FINISH TROWELING. CLEAN OUT SAW CUT JOINTS AT THE END OF PROJECT.
 6. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 7. CONTRACTOR TO CURE SLAB WITH WET CURING USING BURLEEN OR TRANSGUARD COVER. FOR 7 DAYS MIN.
 8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 9. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 10. FF=50, FL=35 OVERALL AVERAGE. FF=34, FL=24 LOCAL MINIMUM. AVERAGE TO BE APPLIED ON A PER POUR BASIS. LOCAL MINIMUM MINIMUM TO APPLY ON EACH TEST WITHIN POUR.
 11. NO FLY ASH IN THE CONCRETE
 12. SHURESEAL LAPIDOLITH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 13. NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB. NO RED CAULK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
 14. 10' POUR STRIP AT TRUCK DOOR. 4FT. MAX. ELSEWHERE.
 15. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR EQUAL.
 16. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.

PAINT NOTES

1. INTERIOR CONC. WALL : FRAZEE SWISS COFFEE
2. ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GRIDERS: LIGHT GRAY SHOP PRIMER.
3. COLUMN PAINT: SAFETY YELLOW UP TO 12' A.F.F AND PAINT WAREHOUSE WALL COLOR FROM 12' TO BOTTOM OF GRIDERS



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Project:

I-210
LOGISTICS
CENTER V

Rialto, CA 92376

Consultants:

Civil: Thienes Engineering
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Hunter Landscape
Fire Protection:
Soils Engineer: So Cal Geotechnical

Title: overall floor plan

Project Number: 13082
Drawn by: G.V.
Date: 03/23/16
Revision:

Sheet:

DAB-2.1



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Project:

I-210 LOGISTICS CENTER V

Rialto, CA 92376



Consultants:

Civil: Thienes Engineering
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Hunter Landscape
Fire Protection:
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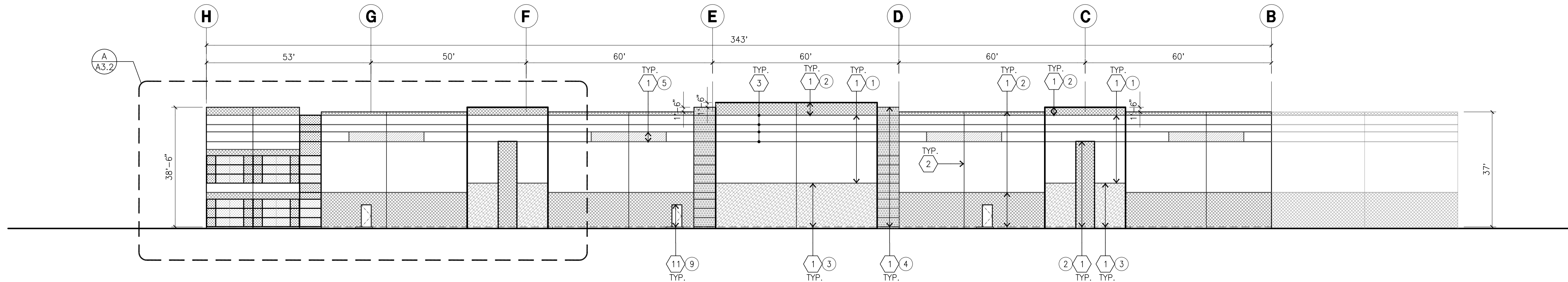


Title: Elevations

Project Number: 13082
Drawn by: G.V.
Date: 03/23/16
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Sheet:

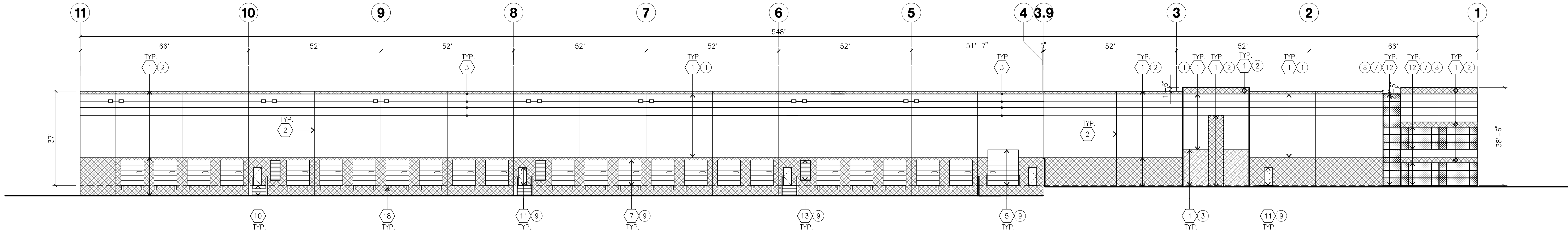
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NORTH ELEVATION

scale: 1" = 20'-0"

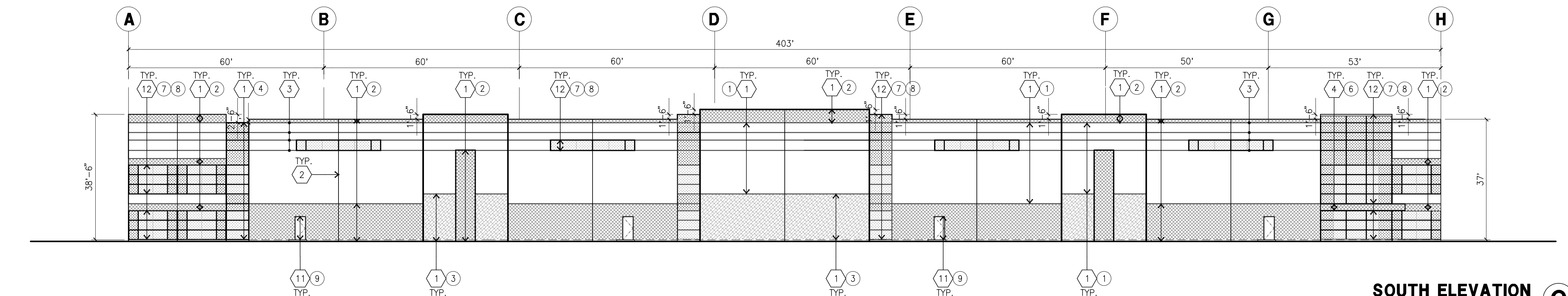
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WEST ELEVATION

scale: 1" = 20'-0"

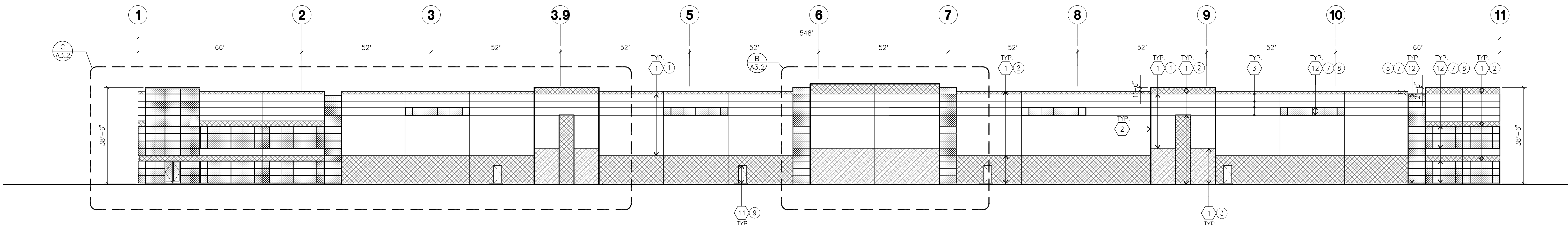
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SOUTH ELEVATION

scale: 1" = 20'-0"

C



EAST ELEVATION

scale: 1" = 20'-0"

D

KEYNOTES - ELEVATIONS

- | | | |
|---|---|----------------------|
| 1 CONCRETE TILT-UP PANEL(PAINTED).
FINISH GRADE VARIES. WATERPROOF ALL WALLS
WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE.
WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND
A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND
DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS. | 8 METAL TRELLIS | 14 PARAPET RETURN. |
| 2 PANEL JOINT. | 9 NOT USED | 15 ROOF LINE BEYOND. |
| 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER.
REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. | 10 CONCRETE STAIR, LANDING AND METAL PIPE RAILING. PROVIDE NON SKID
NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED
3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND
BOTTOM TREAD PER ADA REQUIREMENTS. | 16 NOT USED |
| 4 METAL CANOPY | 11 HOLLOW METAL DOORS.
PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
PROVIDE FOR RAIN DIVERTER ABOVE DOOR. | 17 NOT USED |
| 5 12"W X 14"H OVERHEAD DOOR @ DRIVE THRU.
PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. | 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL
DOORS, SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS
LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
DESIGN TO RESIST 100 MPH WIND EXPOSURE "C" | 18 DOCK BUMPER |
| 6 CONCRETE TILT-UP SCREEN WALL. | 13 4"W X 8" H METAL LOUVER,
PAINT TO MATCH BUILDING COLOR | |
| 7 OVERHEAD DOOR @ DOCK HIGH.
PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. | | |

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 100 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- I. HIGH PERFORMANCE GLASS.
ALL CONCRETE OPENING ARE TO BE PRE-GUARANTEED THAT GLASS CAN BE ORDERED WITHIN 30 DAYS OF START OF GRADING. THIS IS INCLUDE TIME REQUIRED FOR SHOP DRAWING REVIEW.
PREFERENCE IS FOR MEDIUM PERFORMANCE GLASS.

COLOR SCHEDULE - ELEVATIONS

- PRIME COAT TO BE SPRAYED AND BACK ROLLED.
FINISH COAT MAY BE SPRAYED. MIN 5 YEAR LABOR AND MATERIAL PAINT WARRANTY
- | | |
|--------------------------|--|
| 1 CONCRETE TILT-UP PANEL | PAIN BRAND_ FRAZEE 001 WHITE |
| 2 CONCRETE TILT-UP PANEL | PAIN BRAND_ FRAZEE CL 3171W SILVER LINING |
| 3 CONCRETE TILT-UP PANEL | PAIN BRAND_ FRAZEE CL 3172W CHARLESTON |
| 4 CONCRETE TILT-UP PANEL | PAIN BRAND_ FRAZEE CL 3173M EXCALIBUR |
| 5 CONCRETE TILT-UP PANEL | PAIN BRAND_ FRAZEE CL 2336A BLUEBEARD |
| 6 METAL CANOPY | SHERWIN-WILLIAMS METALLICS TO MATCH
FRAZEE CL 3171W SILVER LINING (CLEARCOAT) |
| 7 MULLIONS | COLOR_ CLEAR ANODIZED MULLIONS |
| 8 GLAZING | COLOR_ MEDIUM PERFORMANCE
BLUE REFLECTIVE GLAZING |
| 9 DOORS | PAIN BRAND_ MATCH BUILDING COLOR |
| 10 METAL TRELLIS | SHERWIN-WILLIAMS METALLICS TO MATCH
PAIN BRAND_ FRAZEE CL 3171W SILVER LINING (CLEARCOAT) |

GLAZING LEGEND

- TEMPERED SPANDREL GLASS
- TEMPERED VISION GLASS

COLOR LEGEND

- | | | | | |
|---------------------------|-------------------------------------|----------------------------------|---------------------------------|---------------------------------|
| CONCRETE
TILT-UP PANEL | CONCRETE
TILT-UP PANEL | CONCRETE
TILT-UP PANEL | CONCRETE
TILT-UP PANEL | CONCRETE
TILT-UP PANEL |
| FRAZEE 001
WHITE | FRAZEE
CL 3171W
SILVER LINING | FRAZEE
CL 3172W
CHARLESTON | FRAZEE
CL 3173W
EXCALIBUR | FRAZEE
CL 2336A
BLUEBEARD |
| | | | | |
| 1 | 2 | 3 | 4 | 5 |



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Project:

I-210 LOGISTICS CENTER V

Rialto, CA 92376



Consultants:

Civil: Thienes Engineering
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Hunter Landscape
Fire Protection:
Soils Engineer: So Cal Geotechnical



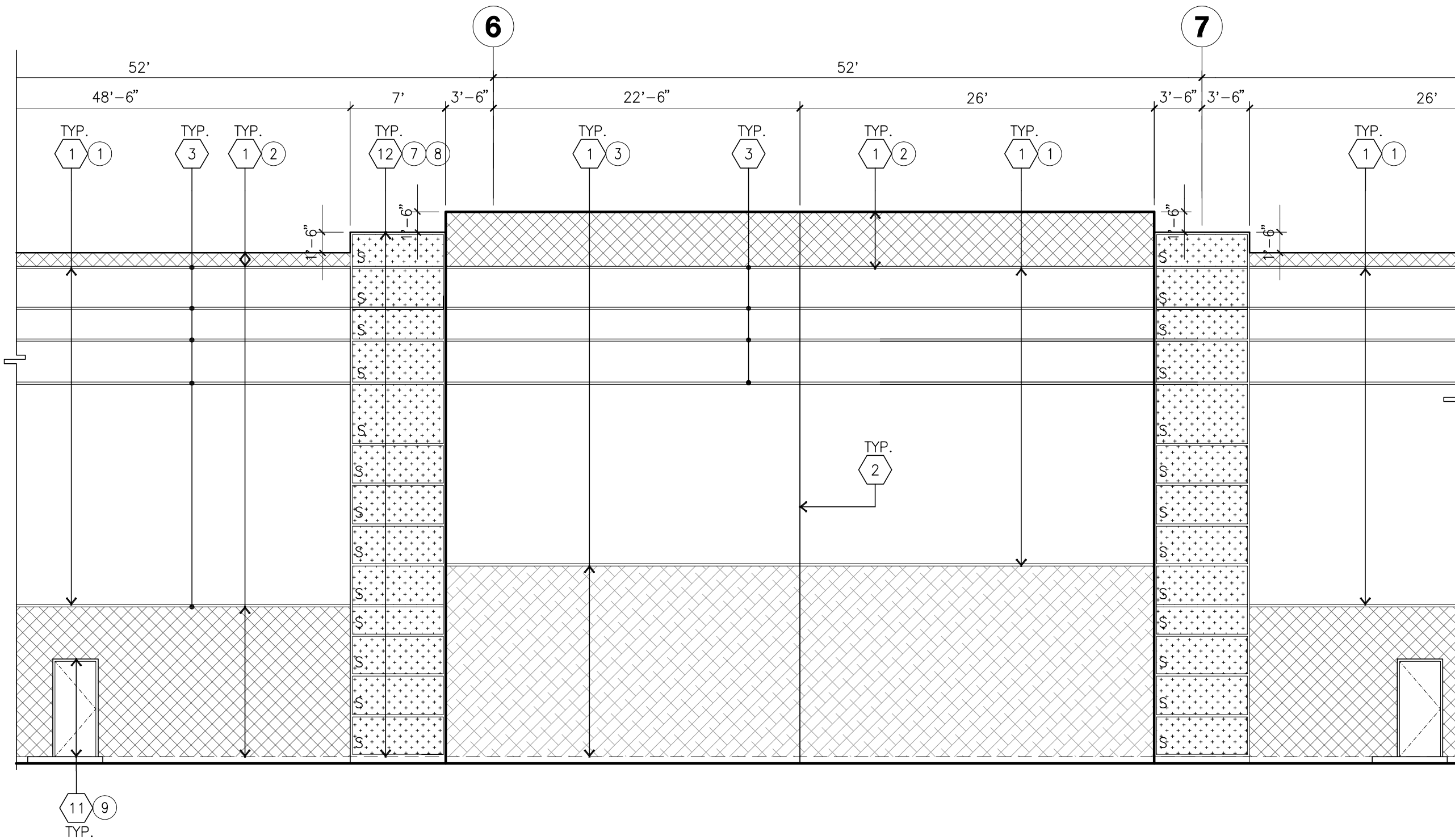
Title: Elevations

Project Number: 13082
Drawn by: G.V.
Date: 03/23/16

Revision:

Sheet:

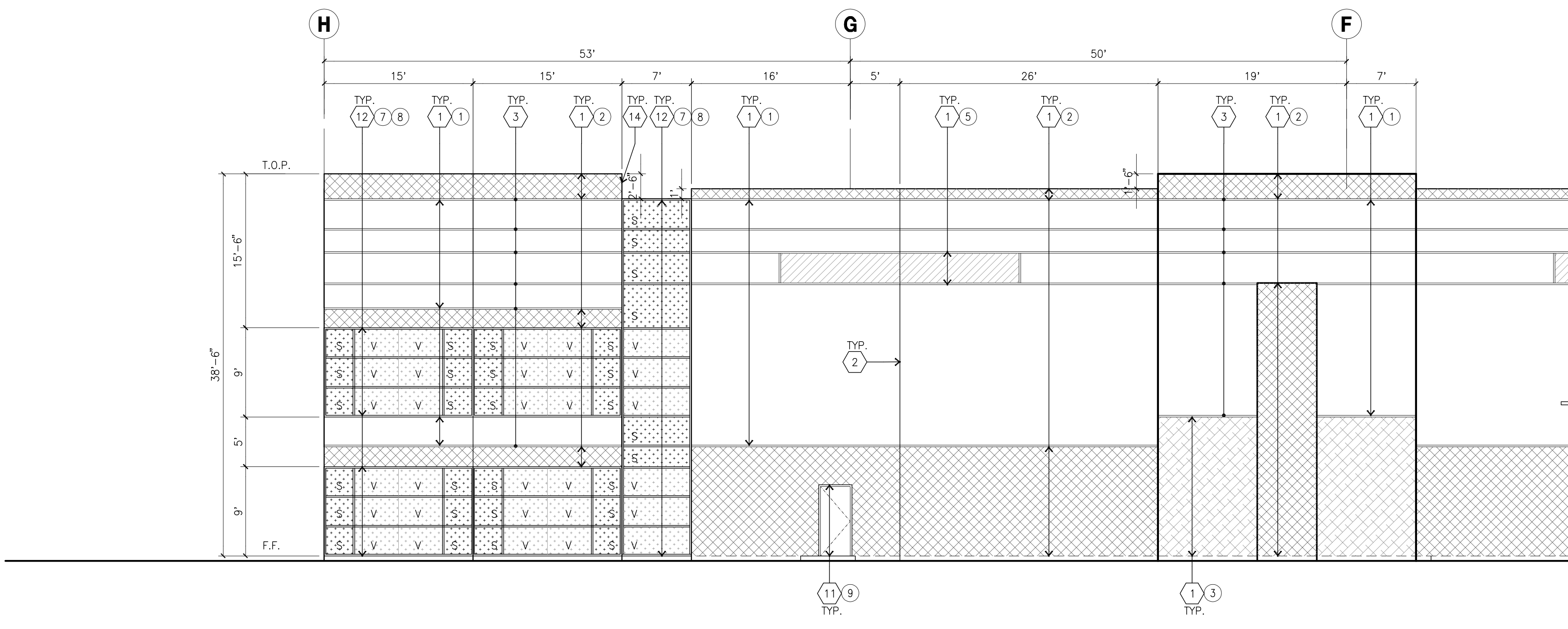
DAB-3.2



ENLARGED EAST ELEVATION

scale: 1/8" = 1'-0"

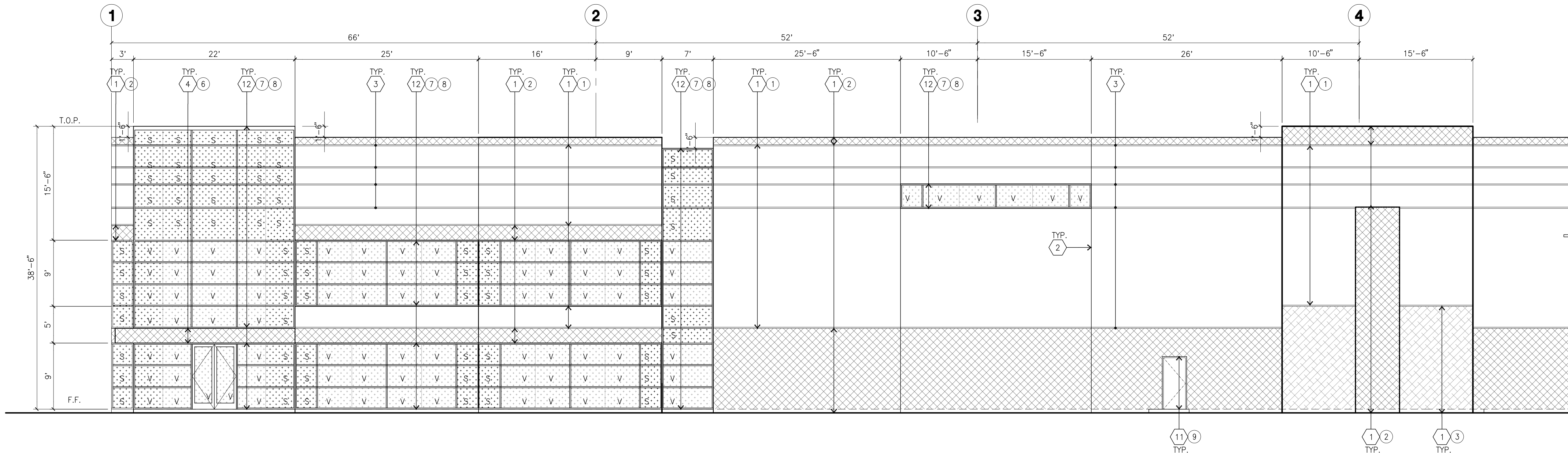
B



ENLARGED NORTH ELEVATION

scale: 1/8" = 1'-0"

A



ENLARGED EAST ELEVATION

scale: 1/8" = 1'-0"

C

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL(PAINTED).
FINISH GRADE VARIES; WATERPROOF ALL WALLS.
WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE.
WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND
A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND
DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER.
REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR.
- 4 METAL CANOPY
- 5 12"W X 14"H OVERHEAD DOOR @ DRIVE THRU.
PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE TILT-UP SCREEN WALL.
- 7 OVERHEAD DOOR @ DOCK HIGH.
PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 8 METAL TRELLIS
- 9 NOT USED
- 10 CONCRETE STAIR, LANDING AND METAL PIPE RAILING. PROVIDE NON SKID
NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED
3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND
BOTTOM TREAD PER ADA REQUIREMENTS.
- 11 HOLLOW METAL DOORS.
PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL
DOORS, SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS
LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
DESIGN TO RESIST 100 MPH WIND EXPOSURE "C"
- 13 4"W. X 8' H METAL LOUVER.
PAINT TO MATCH BUILDING COLOR
- 14 PARAPET RETURN.
- 15 ROOF LINE BEYOND.
- 16 NOT USED
- 17 NOT USED
- 18 DOCK BUMPER

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL.= TOP OF PARAPET ELEVATION.
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PREFERENCE IS FOR MEDIUM PERFORMANCE GLASS.

COLOR SCHEDULE - ELEVATIONS

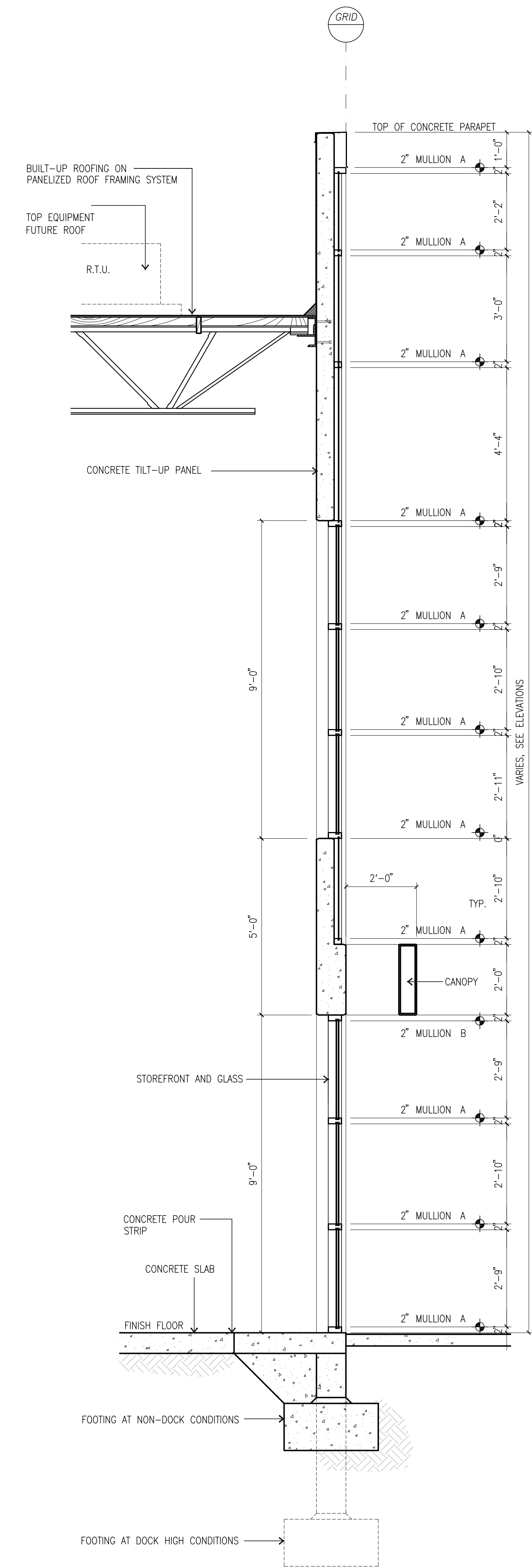
- PRIME COAT TO BE SPRAYED AND BACK ROLLED.
FINISH COAT MAY BE SPRAYED. MIN 5 YEAR LABOR AND MATERIAL PAINT WARRANTY
- 1 CONCRETE TILT-UP PANEL PAINT BRAND: FRAZEE 001 WHITE
 - 2 CONCRETE TILT-UP PANEL PAINT BRAND: FRAZEE CL 3171W SILVER LINING
 - 3 CONCRETE TILT-UP PANEL PAINT BRAND: FRAZEE CL 3172W CHARLESTON
 - 4 CONCRETE TILT-UP PANEL PAINT BRAND: FRAZEE CL 3173M EXCALIBUR
 - 5 CONCRETE TILT-UP PANEL PAINT BRAND: FRAZEE CL 2336A BLUEBEARD
 - 6 METAL CANOPY PAINT BRAND: SHERWIN-WILLIAMS METALLICS TO MATCH FRAZEE CL 3171W SILVER LINING (CLEARCOAT)
 - 7 MULLIONS COLOR: CLEAR ANODIZED MULLIONS
 - 8 GLAZING COLOR: MEDIUM PERFORMANCE BLUE REFLECTIVE GLAZING
 - 9 DOORS PAINT BRAND: MATCH BUILDING COLOR
 - 10 METAL TRELLIS PAINT BRAND: SHERWIN-WILLIAMS METALLICS TO MATCH FRAZEE CL 3171W SILVER LINING (CLEARCOAT)

GLAZING LEGEND

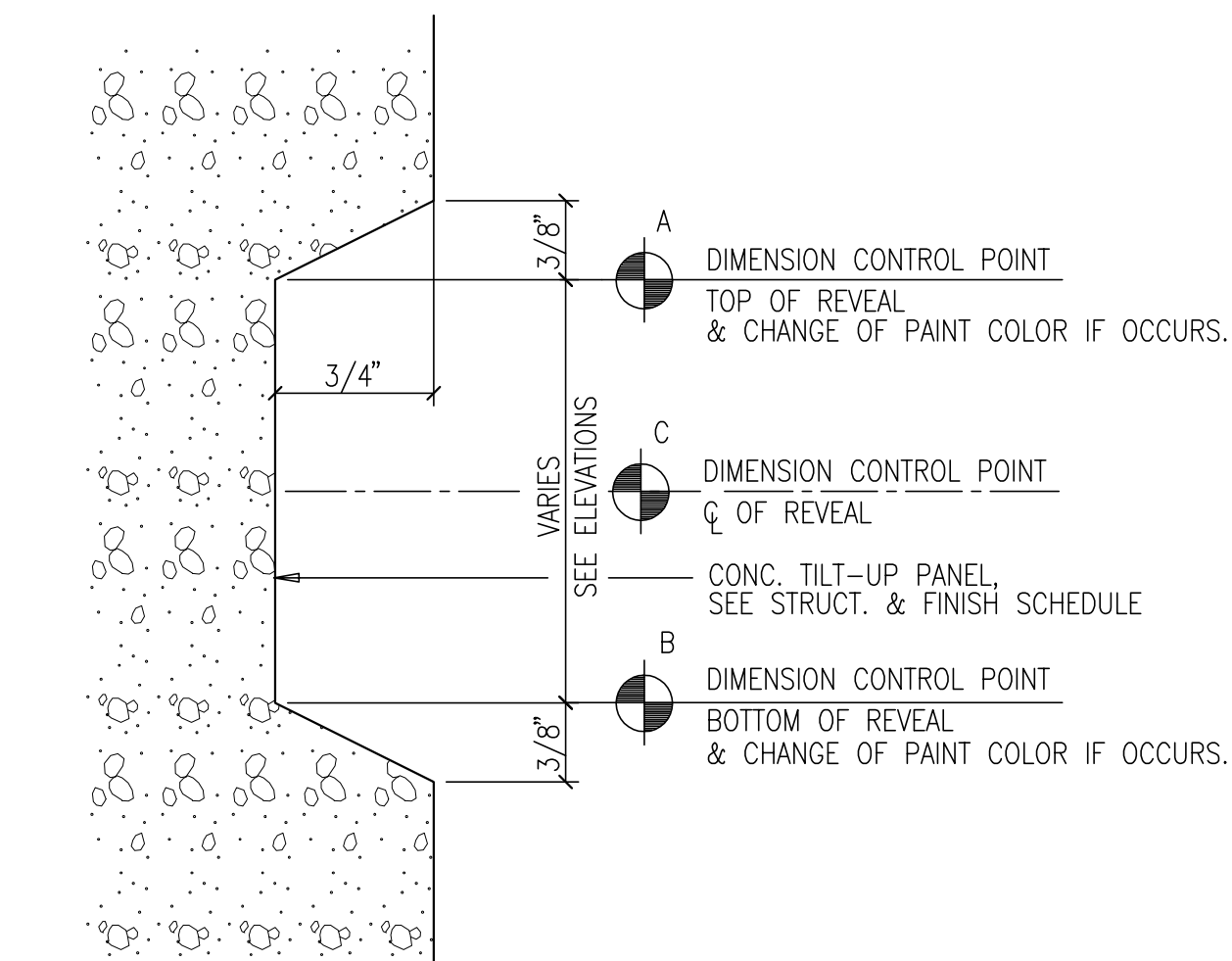
- TEMPERED SPANDREL GLASS
- TEMPERED VISION GLASS

COLOR LEGEND

- | CONCRETE TILT-UP PANEL | CONCRETE TILT-UP PANEL | CONCRETE TILT-UP PANEL | CONCRETE TILT-UP PANEL | CONCRETE TILT-UP PANEL |
|------------------------|-------------------------------|----------------------------|---------------------------|---------------------------|
| FRAZEE 001 WHITE | FRAZEE CL 3171W SILVER LINING | FRAZEE CL 3172W CHARLESTON | FRAZEE CL 3173M EXCALIBUR | FRAZEE CL 2336A BLUEBEARD |
| 1 | 2 | 3 | 4 | 5 |

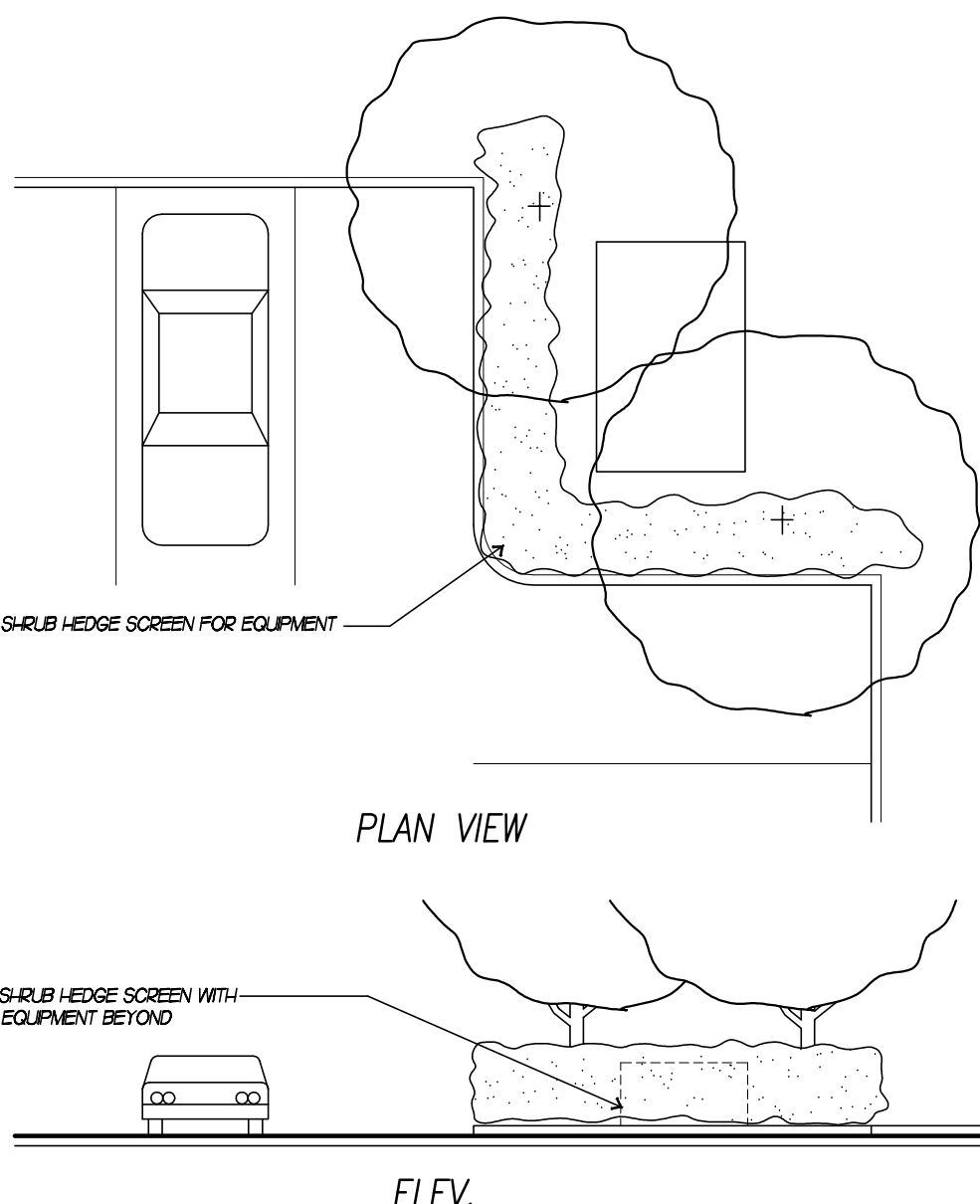


TYPICAL OFFICE SECTION
scale: N.T.S. **A**

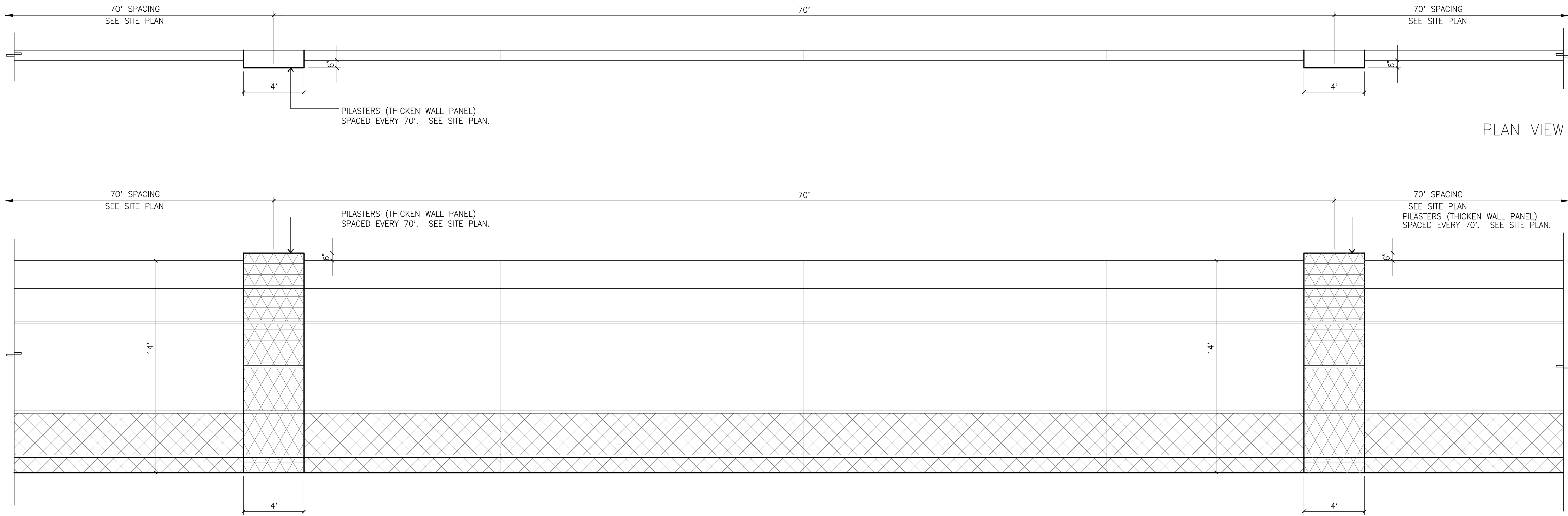


NOTES:
1. DIMENSION CONTROL POINTS AT REVEALS AND EDGE OF CONCRETE OPENINGS WHERE OCCUR, SEE WALL SECTIONS.
2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "A" OR "B"

TYPICAL CONCRETE REVEAL
scale: N.T.S. **B**



GROUND MOUNTED EQUIPMENT SCREENING, TYP.
scale: N.T.S. **C**



TYPICAL SCREEN WALL WITH PILASTER DETAIL
scale: N.T.S. **D**



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Project:
**I-210
LOGISTICS
CENTER V**

Rialto, CA 92376

Consultants:
Civil: Thienes Engineering
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Hunter Landscape
Fire Protection:
Soils Engineer: So Cal Geotechnical

Title: DETAILS

Project Number: 13082
Drawn by: G.V.
Date: 03/23/16
Revision:

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