RIALTO PUBLIC WORKS DEPARTMENT

PARKS BUILDING REHABILITATION

Birdsall Park

Jerry Eaves Park

Fergusson Park

Flores Park

Rialto City Park

IDS GROUP

1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA 92606

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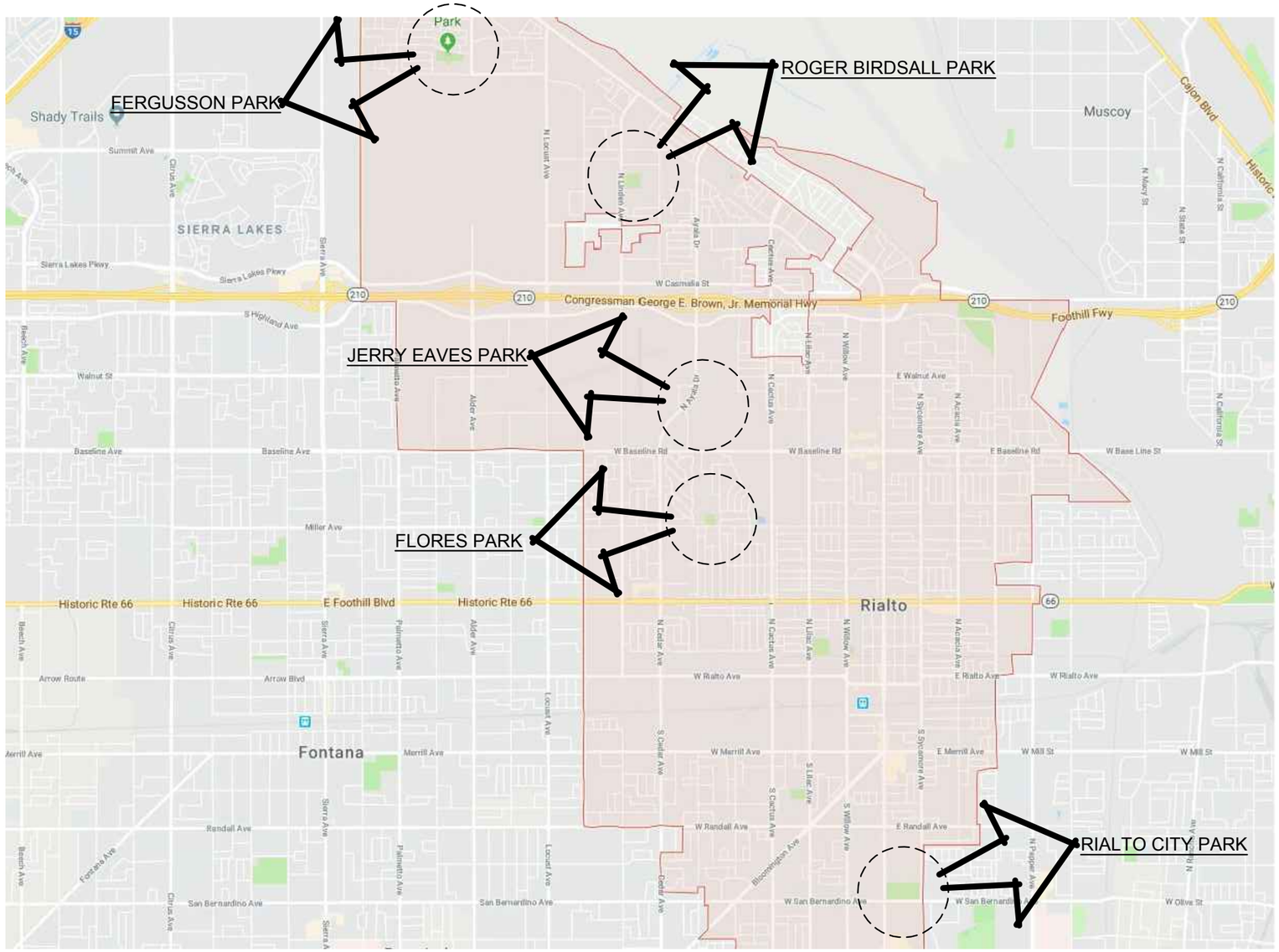
04.27.20



CITY OF RIALTO - Parks Building Rehabilitation

VICINITY MAP

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
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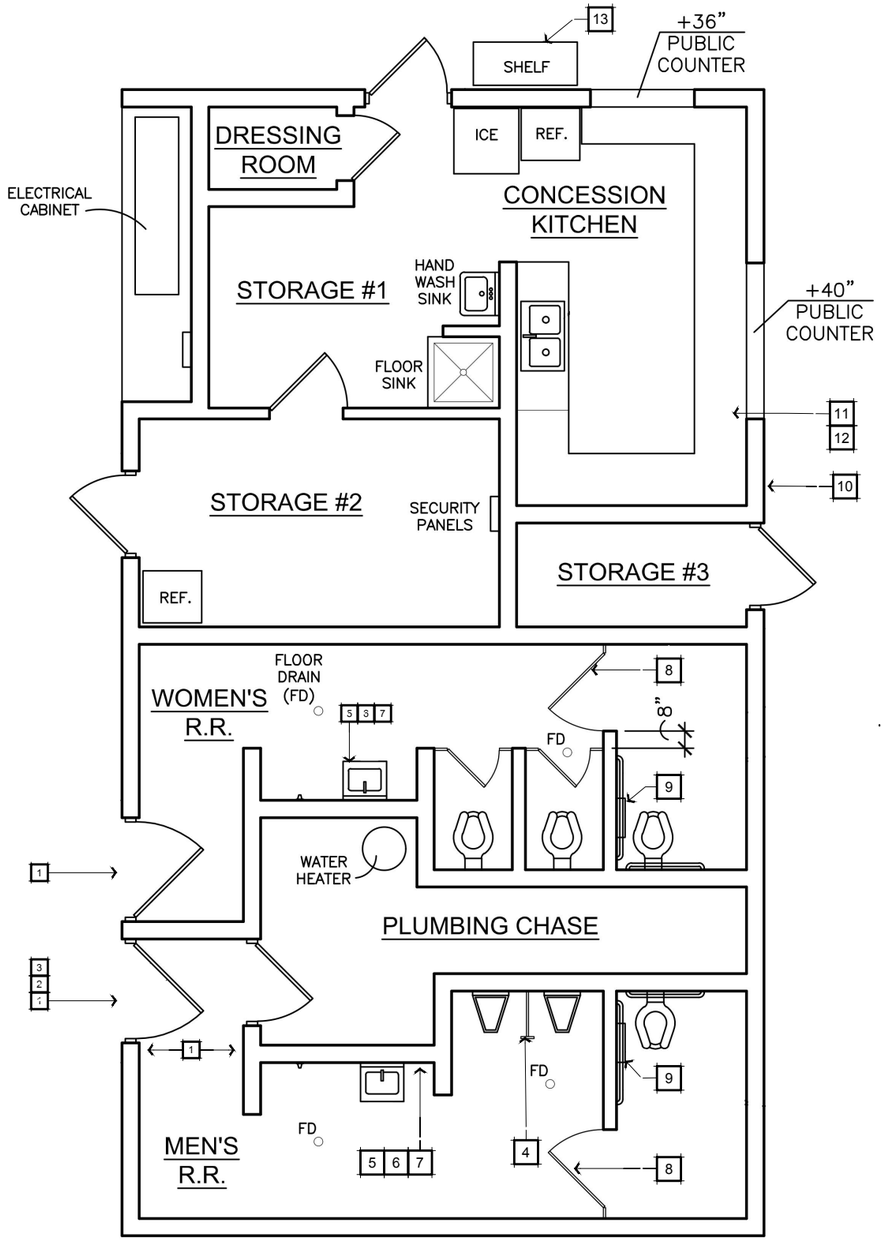


BUILDING DESCRIPTION

1-story snack bar, kitchen, restroom building, gable roof (1111 SF)

- concession/kitchen
- dry storage
- cold storage
- employee restroom/dressing room
- mens restroom
- womens restroom
- utility storage

KEY NOTES

1 Accessible route has concrete dipped at front entry. Greater than 1" of height difference

2 Entry has no threshold. Floor height difference is 1/2"

3 No accessible signage at entry

4 Non-conforming maneuvering clearance at accessible urinal

5 Lavatory sink is less than the required min of 17" width Remove lavatory sink and provide new

6 Missing soap dispenser Provide new soap dispenser

7 No existing mirror Provide new mirror

8 Missing coat hook Provide new coat hook

9 Non-conforming toilet paper dispenser location. Provide new toilet paper dispenser.

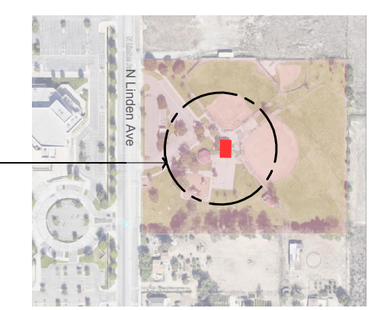
10 No accessible sign, typical at all rooms. Provide new accessible sign

11 Non-conforming accessible counter height. Remove existing and provide new.

12 Non-conforming accessible counter length. Remove existing and provide new

13 Non-conforming maneuvering clearance at condiment stand

KEY PLAN



Birdsall Park Snack Bar & Restroom Bldg.

CITY OF RIALTO - Birdsall Park Snack Bar & Restroom Bldg.

Existing Plan

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
2601 N. Linden Avenue
Rialto, CA 92611

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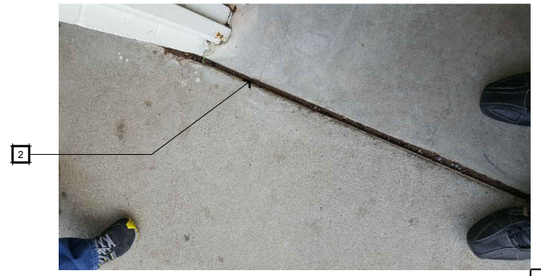

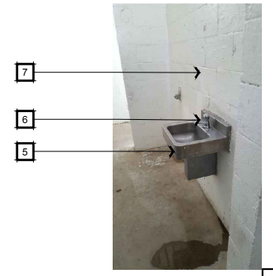

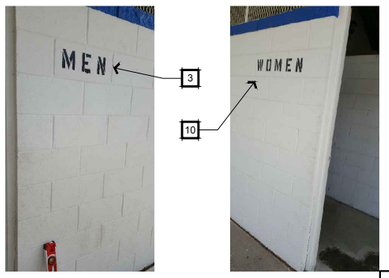

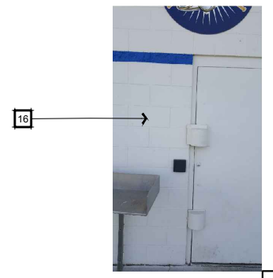

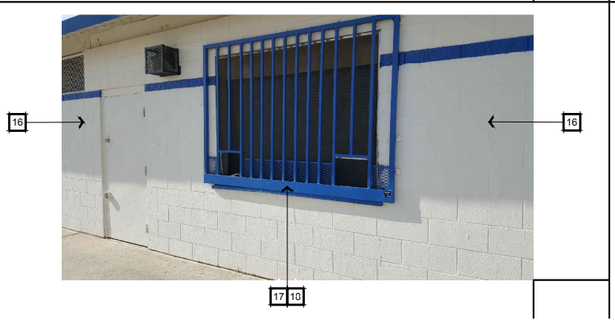

KEYNOTES	MEN'S RESTROOM BUILDING ADA DEFICIENCIES
1	Accessible route has concrete dipped at front entry. Greater than 1" of height difference
2	Entry has no threshold. Floor height difference is 1/2"
3	No accessible signage at entry
4	Non-conforming maneuvering clearance at accessible urinal
5	Lavatory sink is less than the required min of 17" width Remove lavatory sink and provide ne
6	Missing soap dispenser Provide new soap dispenser
7	No existing mirror Provide new mirror
8	Missing coat hook Provide new coat hook
9	Non-conforming toilet paper dispenser location. Provide new toilet paper dispenser.

KEYNOTES	WOMEN'S RESTROOM BUILDING ADA DEFICIENCIES
10	No accessible sign. Provide new accessible sign
11	Lavatory sink is less than the required min of 17" width. Remove lavatory sink and provide ne
12	Missing soap dispenser. Provide new soap dispenser
13	Missing mirror. Provide new mirror
14	Non-conforming toilet paper dispenser location. Provide new toilet paper dispenser
15	Missing coat hook. Provide new coat hook

KEYNOTES	SNACK BAR BUILDING ADA DEFICIENCIES
16	No accessible sign, typical at all rooms. Provide new accessible sign
17	Non-conforming accessible counter height. Remove existing and provide new.
18	Non-conforming accessible counter length. Remove existing and provide new
19	Non-conforming maneuvering clearance at condiment stand

CITY OF RIALTO - Birdsall Park

Deficiencies

logo:

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CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

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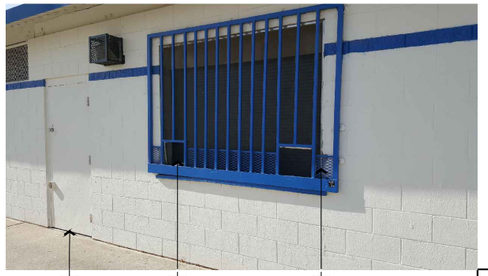

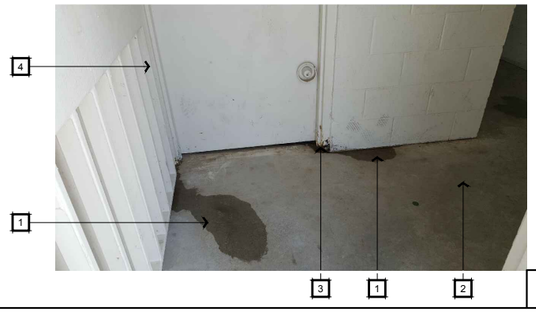

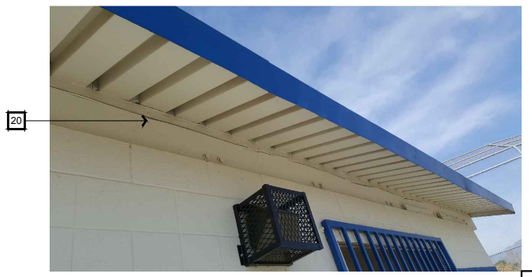

KEYNOTES	BUILDING MAINTENANCE ISSUES
1	Water ponding at both restrooms
2	Unfinish floor thru-out. Provide new finish
3	Rusted door frame. Refinish & repaint door frame
4	Rusted gate frame. Refinish and repaint door frame
5	Non-functional hand dryer at both restrooms
6	Non-functional lights at both restrooms
7	Dilapidated toilet stall door
8	Missing Toilet seat at women's restroom
9	Graffiti at roof skylights
10	Detached condiment stand at snack bar
11	Broken screen at snack bar public counter
12	Doors needs door sweep thru-out to prevent dirt accumulation/getting into rooms
13	Repair gypbd. Wall
14	Replace casework thru-out
15	Repair vent at dressing room & concession counter
16	Missing door handle at storage no. 2. & 3
17	Upgrade electrical outlets to GFCI
18	Repair roof access
19	Missing signage thru-out
20	Repair cracked beam
21	Repaint entrire building
22	Tampered Photocell at roof. Relocate for security purposes
23	Repair broken pavement, typical thru-out
24	Replace missingseat cover

CITY OF RIALTO - Birdsall Park Snack Bar & Restroom Bldg.

Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
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date:

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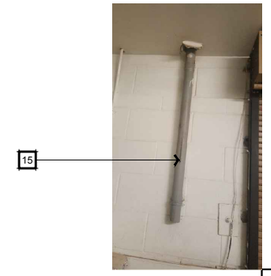

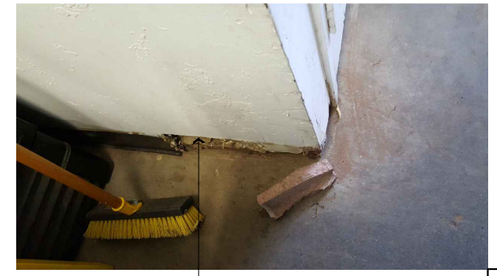

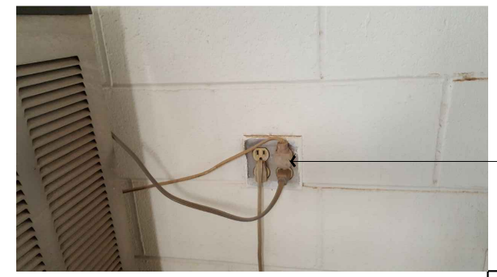

KEYNOTES	BUILDING MAINTENANCE ISSUES
1	Water ponding at both restrooms
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3	Rusted door frame. Refinish & repaint door frame
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9	Graffiti at roof skylights
10	Detached condiment stand at snack bar
11	Broken screen at snack bar public counter
12	Doors needs door sweep thru-out to prevent dirt accumulation/getting into storage rooms
13	Repair gypbd. Wall
14	Repair casework thru-out
15	patch dry-wall ceiling penetration
16	Missing door handle at storage no. 2. & 3
17	Upgrade electrical outlets to GFCI
18	Repair roof access
19	Missing signage thru-out
20	Repair cracked beam
21	Repaint entrire building
22	Tampered Photocell at roof. Relocate for security purposes
23	Repair broken pavement, typical thru-out

CITY OF RIALTO - Birdsall Park Snack Bar & Restroom Bldg.

Deficiencies

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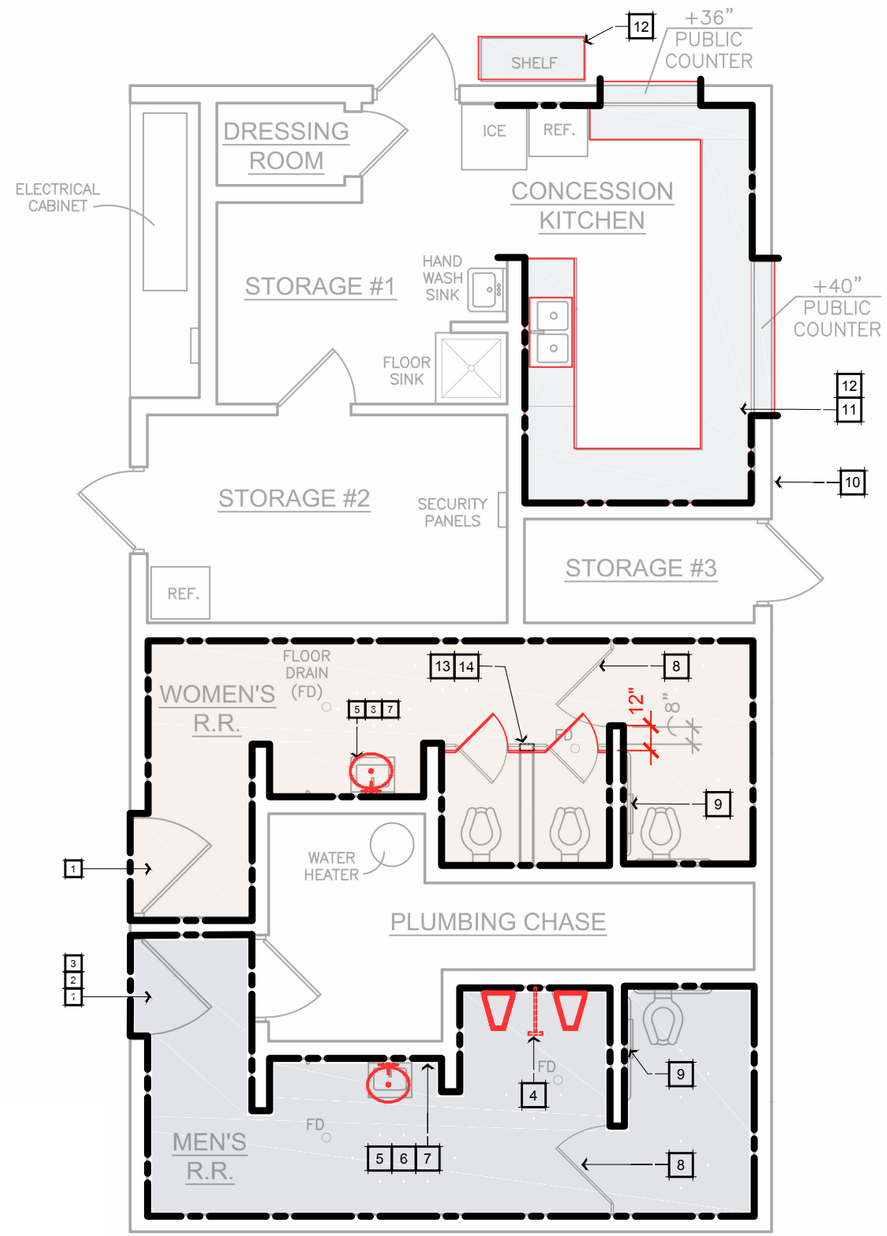


LIFE CYCLE ANALYSIS

BUILDING Birdsall Park Building
YEAR BUILT 1988
SF 911

AGE 30

BASELINE (YEARS)		**Remaining (Years)**	
Exterior Elements (Shell)			
Walls			
Masonry	100	70	
Stucco	50	20	
Doors & windows	25	-5	PAST LIFECYCLE
Roof	20	-10	PAST LIFECYCLE
Interior Elements (Improvements)			
Walls			
Masonry	100	70	
Drywall	25	-5	PAST LIFECYCLE
Doors	25	-5	PAST LIFECYCLE
Floors	20	-10	PAST LIFECYCLE
Ceiling	20	-10	PAST LIFECYCLE
Toilet fixtures	20	-10	PAST LIFECYCLE CRITICAL COMPONENT
Casework	20	-10	PAST LIFECYCLE
Utilities (Equipment)			
Electrical			
System	50	20	
Equipment	25	-5	PAST LIFECYCLE
Plumbing			
System	50	20	
Equipment	25	-5	PAST LIFECYCLE
Mechanical			
System	50	20	
Equipment	25	-5	PAST LIFECYCLE
Kitchen			
Equipment	25	-5	PAST LIFECYCLE

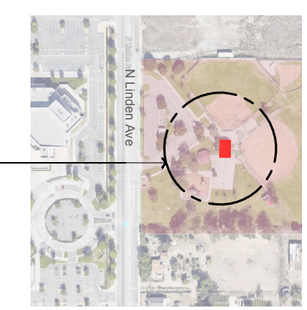
Note: .
1. Substructure elements are considered to last a lifetime (100+)
2. Asbestos and lead likelihood - unlikely

KEY NOTES

1. Repair accessible route has concrete dipped at front entry.
2. Entry has no threshold. Floor height difference is 1/2"
3. Provide accessible signage at entry
4. Non-conforming maneuvering clearance at accessible urinal
5. Lavatory sink is less than the require min of 17" width Remove lavatory sink and provide new
6. Provide new soap dispenser
7. Provide new mirror
8. Provide new coat hook
9. Provide new toilet paper dispenser.
10. Provide new accessible sign for all rooms
11. New ADA counter
12. Provide new condiment stand
13. New toilet partition
14. Demolish portion of existing wall

KEY PLAN

Birdsall Park Snack Bar & Restroom Bldg.



CITY OF RIALTO - Birdsall Park Snack Bar & Restroom Bldg.

Recommendatio

logo:

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1 Peters Canyon Road, Suite 130, Irvi
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ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Birdsall Park - Restrooms Repai	
WORK:	**Birdsall Building ADA**	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 02: Doors and Thresholds				
				$0
Provide aluminum threshold	1	ea	$500.00	$500
				$0
Division Total				$500
Item 03: Signage				
				$0
KN 3 - Men's Entry Signage	1	ea	$100.00	$100
KN 10 Women Entry Signage	1	ea	$100.00	$100
KN 16- Snack bar entry signage	1	ea	$100.00	$100
				$0
Division Total				$300
				$0
Item 04: Plumbing including Fixtures				
				$0
KN 5- Remove/Replace Lav sink at men restroom	1	ea	$4,000.00	$4,000
KN 11- Remove/Replace Lav sink at women restroom	1	ea	$4,000.00	$4,000
				$0
Division Total				$8,000
Item 05 Restrooms Accessories				
				$0
KN 6/7/8/9 Toilet accessories	1	ls	$2,500.00	$2,500
KN 12/13/14/15 -= Toilet accessories	1	ls	$2,500.00	$2,500
				$0
Division Total				$5,000
Item 06: Counters Heights				
				$0
KN 17/18 Remove/lower Pass thru window counter (reuse existir	1	ls	$2,000.00	$2,000
Cut and repair CMU wall	1	ls	$5,000.00	$5,000
Replace security grille	1	ls	$4,000.00	$4,000
				$0
Division Total				$11,000
Item 07: Condiment Stand				
				$0
KN 19 Remove/replace condiment Stand	1	ea	$5,000.00	$5,000
				$0
Division Total				$5,000
Item 08: Exterior Concrete Slab Slope Repair				
				$0
KN 1 Repair sidewalk Slab depression	1	ea	$5,000.00	$5,000
				$0
Division Total				$5,000
Item 09: Toilet Partitions/Urinal Screens				
				$0
KN 4- Relocate Urinal screen at men restroom	1	ls	$2,000.00	$2,000
				$0
Division Total				$2,000
			SUBTOTAL	$36,800

CITY OF RIALTO - Birdsall Park

Cost Analysis

logo:

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ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	**RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Birdsall Park**	
WORK:	**Birdsall Building Maintenance/ Repair**	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
				$0
KN1 Level floor to mitigate water ponding @ men & women	2	locations	$2,000.00	$4,000
KN 2 Install epoxy floor sealer at entire building	600	sf	$10.00	$6,000
				$0
Division Total				$10,000
Item 02: Doors and Thresholds				
				$0
KN 3 Rusted door frame- Repair/Refinish frame	1	ea	1000	$1,000
KN 4 Rusted Gate- clean/Repaint	1	ea	1000	$1,000
KN 12 - Install sweeps at storage rooms exterior doors	2	ea	500	$1,000
KN 16 - Install door handle at storage rooms exterior doors	2	ea	800	$1,600
				$0
Division Total				$4,600
Item 03: Signage				
				$0
KN 19- Provide signage thru-out	1	ls	$1,000.00	$1,000
				$0
Division Total				$1,000
Item 04: Plumbing including Fixtures				
				$0
KN 8 provide toilet seat	1	ea	$500.00	$500
				$0
Division Total				$500
Item 05 Restrooms Accessories				
				$0
KN 5 Replace hand dryer in men and women	2	ea	$1,000.00	$2,000
				$0
Division Total				$2,000
Item 06: Counters Heights				
				$0
KN 11 - Broken Screen at Snack bar counter - *Cost includd in ADA Tab: Cost item 6.*				$0
				$0
Division Total				$0
Item 07: Condiment Stand				
				$0
KN 10 - Detached condiment stand- *Cost includd in ADA Tab: Cost item 7.*				$0
				$0
Division Total				$0
Item 09: Toilet Partitions/Urinal Screens				
				$0
KN 7 - Replace toilet stall door	1	ea	$4,000.00	$4,000
				$0
Division Total				$4,000
Item 10: Drywall				
				$0
KN 13 repair gypsum wall	1	ls	$4,000.00	$4,000
KN 15 repair gypsum ceiling	1	ls	$2,000.00	$2,000
Division Total				$6,000
Item 11: Painting and Graffiti Removal				
				$0
KN 9 Remove graffiti at roof access panel	1	ls	$500.00	$500
KN 21 Paint entire building (interior and ext.)	1	ls	$25,000.00	$25,000
Division Total				$25,500
Item 12: Casework Repair/Replacement				
				$0
KN 14 Remove/replace casework	1	ls	$40,000.00	$40,000
Division Total				$40,000
Item 13: Electrical				
				$0
KN 13 install lights at both restrooms	1	ls	$12,000.00	$12,000
KN 17 Upgrade outlet to GFI/replace conduit to meet code	1	ls	$10,000.00	$10,000
KN 22 relocate photocell at roof	1	ls	$500.00	$500
				$0
Division Total				$22,500
Item 14: Repair Roof Access				
				$0
KN 18 Repair roof access	1	ls	$2,500.00	$2,500
				$0
Division Total				$2,500
Item 15: Repair Visible Cracked Beams (Fill in cracks and apply Paint/Sealer)				
				$0
KN 20 Repair cracked beam (fill in and paint)	1	ls	$10,000.00	$10,000
				$0
Division Total				$10,000
			SUBTOTAL	$128,600

CITY OF RIALTO - Birdsall Park

Cost Analysis

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"ROM" OPINION OF PROBABLE COST OF CONSTRUCTION SUMMARY

Date: 3/15/2018

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT: **RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Birdsall Park - Restrooms Repairs**

WORK: Building ADA and Maintenance Deficiencies Repairs (Excludes Site Upgrade) — IDS Job:18X103

Description		Birdsall Building ADA	Not Used	Birdsall Building Maintenance/ Repair	Not Used	Totals
Item 01: Interior Floor Repair and Finishing		$0		$10,000		$10,000
Item 02: Doors and Thresholds		$500		$4,600		$5,100
Item 03: Signage		$300		$1,000		$1,300
Item 04: Plumbing including Fixtures		$8,000		$500		$8,500
Item 05 Restrooms Accessories		$5,000		$2,000		$7,000
Item 06: Counters Heights		$11,000		$0		$11,000
Item 07: Condiment Stand		$5,000		$0		$5,000
Item 08: Exterior Concrete Slab Slope Repair		$5,000		$0		$5,000
Item 09: Toilet Partitions/Urinal Screens		$2,000		$4,000		$6,000
Item 10: Drywall		$0		$6,000		$6,000
Item 11: Painting and Graffiti Removal		$0		$25,500		$25,500
Item 12: Casework Repair/Replacement		$0		$40,000		$40,000
Item 13: Electrical		$0		$22,500		$22,500
Item 14: Repair Roof Access		$0		$2,500		$2,500
Item 15: Repair Visible Cracked Beams (Fill in cracks and apply Paint/Sealer)		$0		$10,000		$10,000
Item 16:		$0		$0		$0
Item 17:		$0		$0		$0
Item 18:		$0		$0		$0
Item 19:		$0		$0		$0
Item 20:		$0		$0		$0
Item 21:		$0		$0		$0
Trade Cost Subtotals		**$36,800**		**$128,600**		$165,400
SUBTOTAL		$36,800		$128,600		$165,400
General Contractor's General Conditions	15%	$5,520		$19,290		$24,810
Insurance, Tax and Bond	4%	$1,693		$5,916		$7,608
SUBTOTAL		$44,013		$153,806		$197,818
General Contractors Overhead/Profit	10%	$4,401		$15,381		$19,782
Construction Cost SUBTOTAL		$48,414		$169,186		$217,600
Estimate Design Contingency	20%	$9,683		$33,837		$43,520
TOTAL ESTIMATED PROJECT CONSTRUCTION COST WITH CONTINGENCY		$58,097		$203,023		$261,120

Special Notes

1. Assumes 75 calendar days construction schedule. This time should allow for procurement, submittals, fabrication & installation.
2. Excludes unknown conditions discovered upon further investigation or during construction.
3. Assumes Contractor will be given free of charge a staging lay down area and parking.
4. This Cost Opinion attempts to provide a fair and reasonable cost of construction based on a stable (non volatile) market conditions.
5. Assumes Owner's favorable bidding environment (example: at least 5 responsive bids).
6. Excludes future local market condition uncertainties.
7. Includes a 20% Estimate Design Contingency.
8. Excludes an escalation allowance.
9. Excludes plan check fees and building permit fees.
10. Excludes Architect/Engineer Fees.
11. Excludes Construction Management Fees.
12. Excludes Testing and Inspection.
13. Excludes Utility Companies charges.
14. Excludes governmental agencies development assessments and fees.
15. Excludes removal of compost. Need full and complete access to work area.
16. Excludes handling of contaminated soil and hazardous material
17. Excludes handling of methane gas if encountered.

CITY OF RIALTO - Birdsall Park

Summary Repo

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

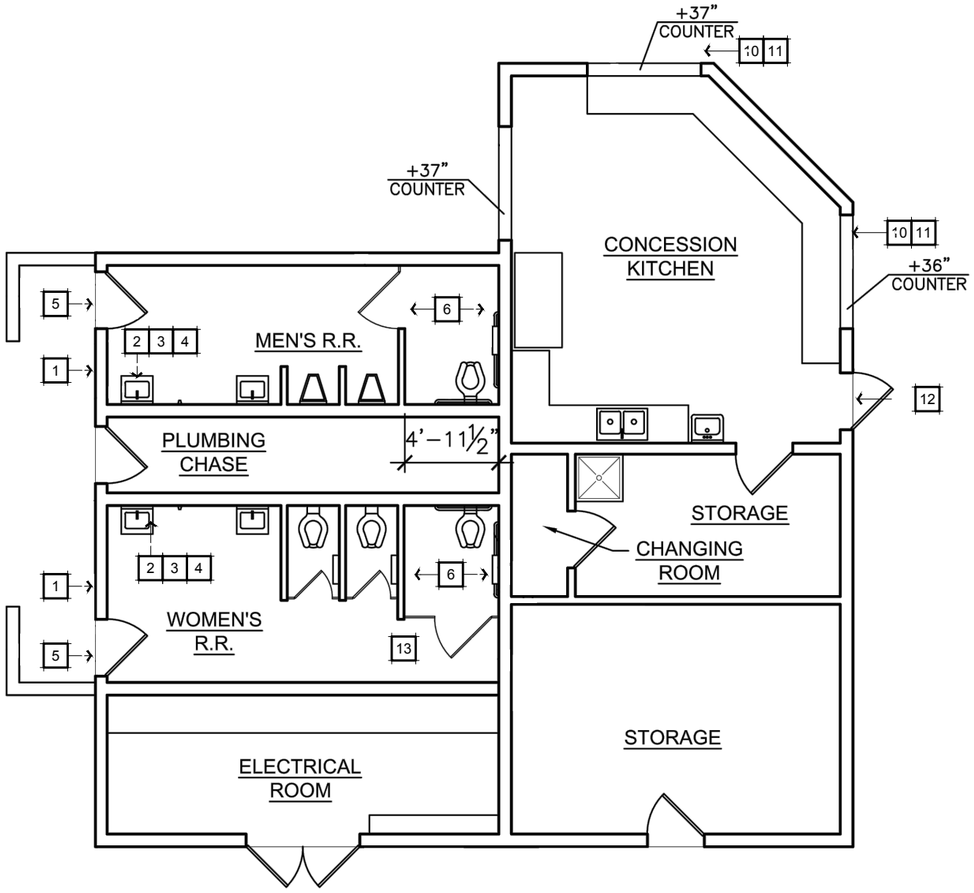
2601 N. Linden Ave.
Rialto, CA 92611

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.



KEY NOTES

1 No accessible signage
2 Missing sink pipe protection under lavatory
3 No soap dispenser
4 No mirror
5 Floor level change +1/2"
6 Non- conforming accessible stall dimention
7 No self -closing door
8 Non- conforming lavatory width at 15"
9 Non-conforming accessible water closet location from side wall
10 Non-conforming counter heigt
11 Non-conforming counter height
12 Non-conforming door threshold height at +1"
13 Non-conforming maneuvering clearance accessible stall

BUILDING DESCRIPTION

1-story snack bar, kitchen, restroom building, gable roof (1,430 SF)

- concession/kitchen
- employee changing room
- dry storage
- mens restroom
- womens restroom
- plumbing chase
- utility storage
- electrical room

KEY PLAN

CITY OF RIALTO - Jerry Eaves Park Restroom & Snack Bar Bldg 1 | Existing Plan

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
1485 Ayala Dr.
Rialto, CA 92376

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS
IDS GROUP
1 Peters Canyon Road, Suite 130, Irvine, CA 92606
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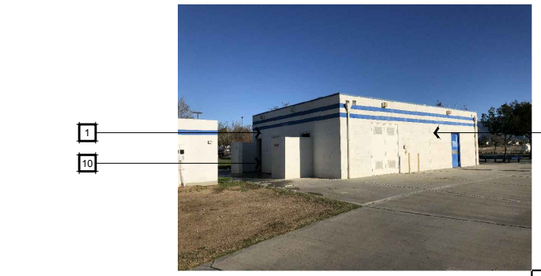

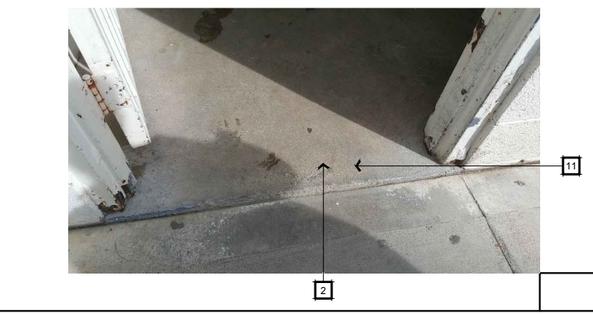

KEYNOTES	MEN'S RESTROOM BUILDING ADA DEFICIENCIES
1	No Accessible signage
2	Floor level change +1/2"
3	Non-conforming lavatory width at 15"
4	Missing pipe protection under the lavatory
5	No Mirror
6	No soap dispenser
7	Non-conforming accessible water closet location from side wall.
8	Non-conforming accessible stall dimension
9	No self-closing door

KEYNOTES	WOMEN'S RESTROOM BUILDING ADA DEFICIENCIES
10	No Accessible signage
11	Floor level change +1/2"
12	Non-conforming lavatory width at 15"
13	Missing pipe protection under the lavatory
14	No Mirror
15	No soap dispenser
16	Non-conforming accessible water closet location from side wall.
17	Non-conforming accessible stall dimension
18	No self-closing door

KEYNOTES	SNACK BAR BUILDING ADA DEFICIENCIES
19	No Accessible signage
20	Non-conforming counter heigt
21	Non-conforming door threshold height at +1"
22	Missing pipe protection under the lavatory

CITY OF RIALTO - Jerry Eaves Park Restroom & Snack Bar Bldg 1 Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1485 Ayala Dr.
Rialto, CA 92376

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

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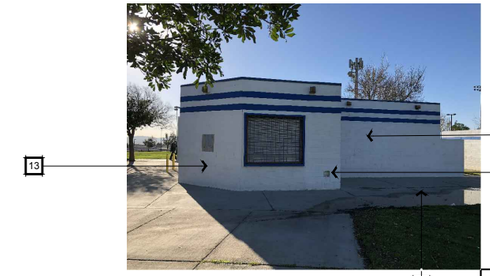
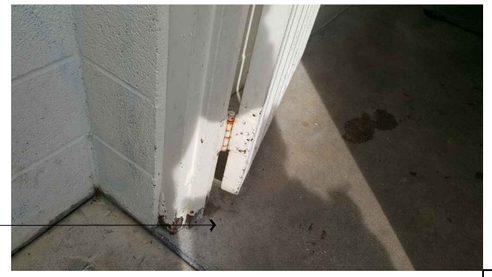
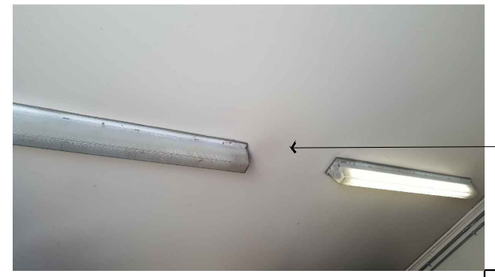
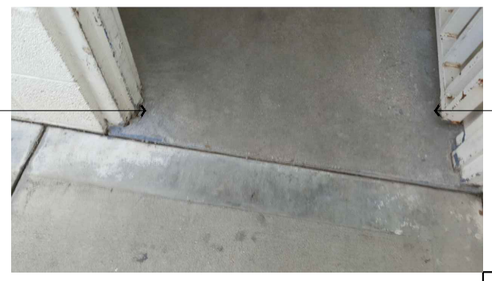
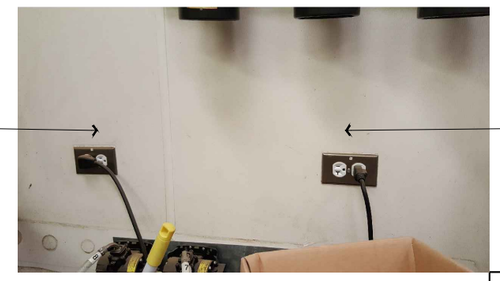
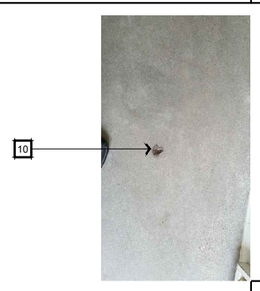


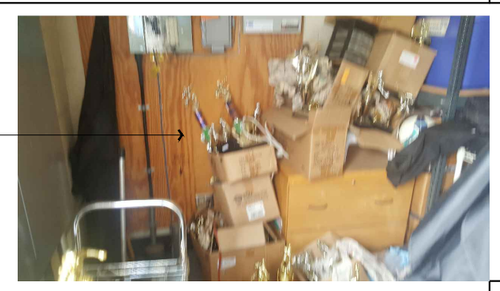


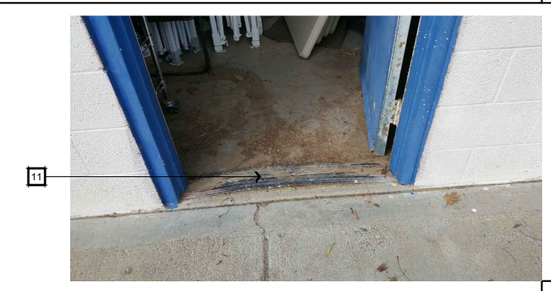












KEYNOTES	BUILDING MAINTENANCE DEFICIENCIES
1	Water ponding around the building
2	Water ponding inside restrooms
3	Non-functional light fixtures
4	Rusted dood, frame & hardware
5	No accessible door handles at all exterior doors
6	Missing utility panel cover
7	Replace light bulbs at storage
8	Non-GFCI electric outlets in snack bar
9	Provide door sweeps at all exterior doors
10	Chipped conrete floor at restroom
11	Broken threshold at storage
12	Electrical room being used as storage
13	Patch repair exterior wall.
14	Repaint exterior of entire building

CITY OF RIALTO - Jerry Eaves Park Restroom & Snack Bar Bldg 1 | Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1485 Ayala Dr.
Rialto, CA 92376

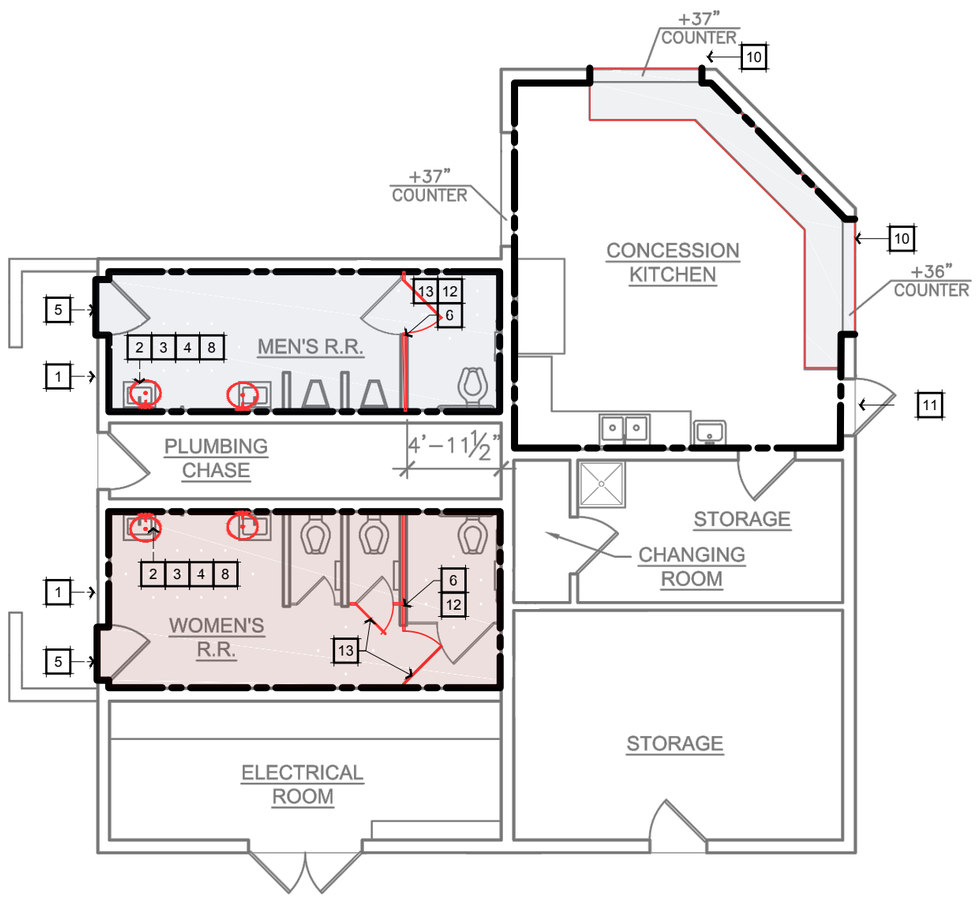
date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvine, CA 92606
t: 949.387.8500, f: 949.387.0800



LIFE CYCLE ANALYSIS

BUILDING Jerry Eaves Park Building 1
YEAR BUILT 1991
SF 1527

AGE 27

BASELINE (YEARS)		**Remaining (Years)**	
Exterior Elements (Shell)			
Walls			
Masonry	100	73	
Stucco	50	23	
Doors & windows	25	-2	PAST LIFECYCLE
Roof	20	-7	PAST LIFECYCLE
Interior Elements (Improvements)			
Walls			
Masonry	100	73	
Drywall	25	-2	PAST LIFECYCLE
Doors	25	-2	PAST LIFECYCLE
Floors	20	-7	PAST LIFECYCLE
Ceiling	20	-7	PAST LIFECYCLE
Toilet fixtures	20	-7	PAST LIFECYCLE CRITICAL COMPONENT
Casework	20	-7	PAST LIFECYCLE
Utilities (Equipment)			
Electrical			
System	50	23	
Equipment	25	-2	PAST LIFECYCLE
Plumbing			
System	50	23	
Equipment	25	-2	PAST LIFECYCLE
Mechanical			
System	50	23	
Equipment	25	-2	PAST LIFECYCLE
Kitchen			
Equipment	25	-2	PAST LIFECYCLE

Note:
1. Substructure elements are considered to last a lifetime (100+)
2. Asbestos and lead likelihood - unlikely

KEY NOTES

1. New accessible signage
2. New sink pipe protection under lavator
3. New soap dispenser
4. New mirror
5. Repair Floor level
6. Demolish existing wall in accessible st
7. Provide new self -closing door
8. new lavetory
9. Provide new water closet location
10. New counter with ADA standard
11. Provide1/2" max. door threshold
12. Provide new partition in accessible sta
13. New door

KEY PLAN

Jerry Eaves Park Restroom Building 1

CITY OF RIALTO - Jerry Eaves Park Restroom & Snack Bar Bldg 1 | Recommendatio

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
1485 Ayala Dr.
Rialto, CA 92376

date:
04.27.2018

project no. 17X103.00
scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Jerry Eaves Park - Restrooms R	
WORK:	**Jerry Eaves Building 1 ADA**	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
				$0
KN 2 Floor finish	600	sf	$10.00	$6,000
KN 11 Floor change +/-	600	sf	$10.00	$6,000
				$0
Division Total				$12,000
Item 02: Doors and Thresholds				
				$0
KN 9 No self closing door - provide closer	1	ea	$1,000.00	$1,000
KN 2 Provide aluminum threshold at door	1	ea	$500.00	$500
KN 18 No self closing door - provide closer	1	ea	$1,000.00	$1,000
				$0
Division Total				$2,500
Item 03: Signage				
				$0
KN 1,10,19 Provide signage thru-out men and women	3	ea	$500.00	$1,500
				$0
Division Total				$1,500
				$0
Item 04: Plumbing including Fixtures				
				$0
KN 3,12 Replace Non functional lav	2	ea	$4,000.00	$8,000
KN 4,13,22 sink pipe insulation	3	ea	$300.00	$900
				$0
Division Total				$8,900
Item 05 Restrooms Accessories				
;				$0
KN 5,6,14,15 misc accessories men and women	2	ea	$2,000.00	$4,000
				$0
Division Total				$4,000
Item 06: Counters Heights				
				$0
KN 20 non conforming counter height	1	ls	$12,000.00	$12,000
				$0
Division Total				$12,000
Item 18:No Conforming Maneuvering Space at Snack Bar/kitchen				
				$0
KN 7,8 non conforming stall dimension - men	1	ls	$15,000.00	$15,000
KN 16,17 non conforming stall dimension - women	1	ls	$15,000.00	$15,000
				$0
Division Total				$30,000
			SUBTOTAL	**$70,900**

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Jerry Eaves	
WORK:	**Jerry Eaves Building 1 Maintenance/ Repair**	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
				$0
KN 1 Mitigate water ponding	2	loc	$4,000.00	$8,000
KN 2 Install epoxy floor sealer at entire building	600	sf	$10.00	$6,000
KN 10 Repair chipped concrete floor	1	ls	$5,000.00	$5,000
				$0
Division Total				$19,000
Item 02: Doors and Thresholds				
				$0
KN 4 Rusted door, frame and hardware -replace and paint	2	ea	5000	$10,000
KN 5 - Install door handle at storage rooms exterior doors	1	ea	800	$800
KN 9 - Install sweeps at storage rooms exterior doors	5	ea	500	$2,500
KN -Broken door threshold at storage	1	ea	500	$500
				$0
Division Total				$13,800
Item 04: Plumbing including Fixtures				
				$0
KN 6 Missing cover at utility box	1	ea	$500.00	$500
				$0
Division Total				$500
Item 08: Exterior Concrete Slab Slope Repair				
				$0
KN 1 water ponding-Reslope concrete slab away from buil	1	ls	$20,000.00	$20,000
				$0
Division Total				$20,000
Item 11: Painting and Graffiti Removal				
				$0
KN 13 Patch/repair exterior wall	1	ls	$10,000.00	$10,000
KN 14 Paint entire building (interior and ext.)	1	ls	$20,000.00	$20,000
Division Total				$30,000
Item 13: Electrical				
				$0
KN 3, 7 Replace Lights with LED fixtures in	1	ls	$12,000.00	$12,000
KN 8 Replace outlet at snack bar with GFCI outlet	1	ls	$12,000.00	$12,000
				$0
Division Total				$24,000
			SUBTOTAL	**$107,300**

CITY OF RIALTO - Jerry Eaves Park Restroom Building 1

Cost Analysis

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1485 Ayala Dr.
Rialto, CA 92376

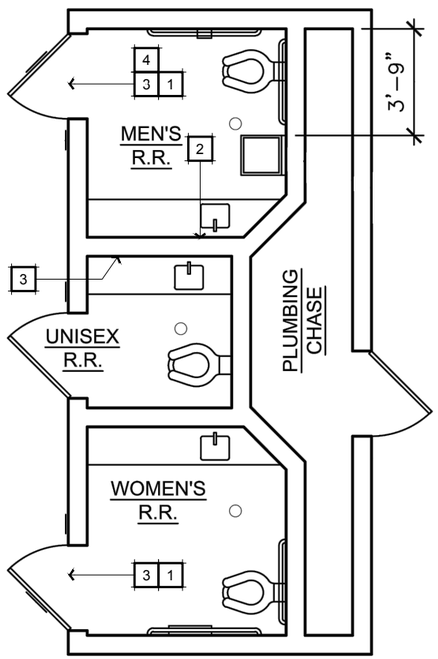
date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.(



BUILDING DESCRIPTION

1-story restroom (with all-gender) building, gable roof (253 SF)

- mens restroom
- womens restroom
- family restroom
- plumbing chase

KEY NOTES

1. No coat hook at all stalls
2. No mirror
3. Verify maximum opening force for entry door
4. Non-conforming maneuvering clearance accessible stall

KEY PLAN

CITY OF RIALTO - Jerry Eaves Park Restroom Building 2

Existing Plan

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
1485 Ayala Dr.
Rialto, CA 92376

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS
IDS GROUP
1 Peters Canyon Road, Suite 130, Irvine, CA 92606
t: 949.387.8500, f: 949.387.0800

KEYNOTES	MEN'S RESTROOM BUILDING ADA DEFICIENCIES
1	No Coat hook at all stalls
2	Missing mirror
3	Verify max opening force for entry door
4	Less than 60" clear width at accessible water closet due urinal

KEYNOTES	WOMEN'S RESTROOM BUILDING ADA DEFICIENCIES
5	No Coat hook at all stalls
6	Missing mirror
7	Verify max opening force for entry door
9	Accessible signage has no fair

CITY OF RIALTO - Jerry Eaves Park Restroom Building 2

Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1485 Ayala Dr.
Rialto, CA 92376

date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvine, CA 92606
t: 949.387.8500, f: 949.387.0800

KEYNOTES	BUILDING MAINTENANCE DEFICIENCIES
1	Non-conforming slope at concrete slab infort of restroom
2	Worn accessible sign. No contrast
3	Provide door sweep to all exterior doors

CITY OF RIALTO - Jerry Eaves Park Restroom Building 2

Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1485 Ayala Dr.
Rialto, CA 92376

date:

04.27.2018

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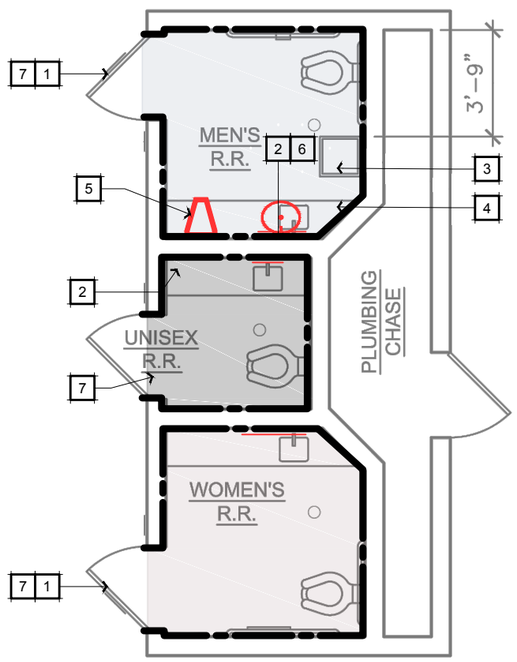

LIFE CYCLE ANALYSIS

BUILDING	Jerry Eaves Park Building 2
YEAR BUILT	2008
SF	253
AGE	10

BASELINE (YEARS)		**Remaining (Years)**	
Exterior Elements (Shell)			
Walls			
Masonry	100	90	
Stucco	50	40	
Doors & windows	25	15	
Roof	20	10	
Interior Elements (Improvements)			
Walls			
Masonry	100	90	
Drywall	25	15	
Doors	25	15	
Floors	20	10	
Ceiling	20	10	
Toilet fixtures	20	10	CRITICAL COMPONENT
Casework	20	10	
Utilities (Equipment)			
Electrical			
System	50	40	
Equipment	25	15	
Plumbing			
System	50	40	
Equipment	25	15	
Mechanical			
System	50	40	
Equipment	25	15	
Kitchen			
Equipment	-	-	

Note:
1. Substructure elements are considered to last a lifetime (100+)
2. Asbestos and lead likelihood - unlikely

KEY NOTES

1. Provide new coat hook
2. New mirror
3. Remove existing urinal
4. Remove existing sink and counter top
5. New urinal
6. New sink
7. Verify maximum opening force for entry door

KEY PLAN

CITY OF RIALTO - Jerry Eaves Park Restroom Building 2

Recommendatio

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
1485 Ayala Dr.
Rialto, CA 92376

date:
04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Jerry Eaves Parl	
WORK:	Jerry Eaves Building 2 ADA	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
NO PHOTOS				$0
				$0
Division Total				$0
Item 02: Doors and Thresholds				
				$0
KN 4 No self closing door men - Provide door closer	1	ea	$1,000.00	$1,000
KN 7 No self closing door women- Provide door closer	1	ea	$1,000.00	$1,000
				$0
Division Total				$2,000
Item 05 Restrooms Accessories				
				$0
KN 1, 2 Missing mirror and coat hook	1	ea	$700.00	$700
KN 5, 6 Missing mirror and coat hook	1	ea	$700.00	$700
				$0
Division Total				$1,400
Item 18:No Conforming Maneuvering Space at Snack Bar/kitchen				
				$0
KN 4 Nonconforming wall CMU @ men accessible stall	1	ls	$15,000.00	$12,000
KN 8 Nonconforming wall CMU @ women accessible stall	1	ls	$15,000.00	$12,000
				$0
Division Total				$24,000
			SUBTOTAL	$27,400

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Jerry Eaves	
WORK:	Jerry Eaves Building 2 Maintenance/ Repair	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 02: Doors and Thresholds				
				$0
KN 3 - Install sweeps at exterior doors	4	ea	500	$2,000
				$0
Division Total				$2,000
Item 03: Signage				
				$0
KN 2 - Replace accessible signs	2	ea	$300.00	$600
				$0
Division Total				$600
Item 08: Exterior Concrete Slab Slope Repair				
				$0
KN 2 water ponding-Reslope concrete slab away from buil	1	ls	$20,000.00	$20,000
				$0
Division Total				$20,000
			SUBTOTAL	$22,600

CITY OF RIALTO - Jerry Eaves Park Restroom Building 2

Cost Analysis

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1485 Ayala Dr.
Rialto, CA 92376

date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.

"ROM" OPINION OF PROBABLE COST OF CONSTRUCTION SUMMARY

Date: 3/15/2018

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT: RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Jerry Eaves Park - Restrooms Repairs

WORK: Building ADA and Maintenance Deficiencies Repairs (Excludes Site Upgrade) IDS Job:18X103

Description		Jerry Eaves Building 1 ADA	Jerry Eaves Building 2 ADA	Jerry Eaves Building 1 Maintenance/ Repair	Jerry Eaves Building 2 Maintenance/ Repair	Totals
Item 01: Interior Floor Repair and Finishing		$12,000	$0	$19,000	$0	$31,000
Item 02: Doors and Thresholds		$2,500	$2,000	$13,800	$2,000	$20,300
Item 03: Signage		$1,500	$0	$0	$600	$2,100
Item 04: Plumbing including Fixtures		$8,900	$0	$500	$0	$9,400
Item 05 Restrooms Accessories		$4,000	$1,400	$0	$0	$5,400
Item 06: Counters Heights		$12,000	$0	$0	$0	$12,000
Item 07: Condiment Stand		$0	$0	$0	$0	$0
Item 08: Exterior Concrete Slab Slope Repair		$0	$0	$20,000	$20,000	$40,000
Item 09: Toilet Partitions/Urinal Screens		$0	$0	$0	$0	$0
Item 10: Drywall		$0	$0	$0	$0	$0
Item 11: Painting and Graffiti Removal		$0	$0	$30,000	$0	$30,000
Item 12: Casework Repair/Replacement		$0	$0	$0	$0	$0
Item 13: Electrical		$0	$0	$24,000	$0	$24,000
Item 14: Repair Roof Access		$0	$0	$0	$0	$0
Item 15: Repair Visible Cracked Beams (Fill in cracks and apply Paint/Sealer)		$0	$0	$0	$0	$0
Item 16: Entry Gate Privacy Wall Clearance not 48" Minimum		$0	$0	$0	$0	$0
Item 17: Non Conforming Accessible/Maneuvering Clearance Stall at		$0	$0	$0	$0	$0
Item 18:No Conforming Maneuvering Space at Snack Bar/kitchen		$30,000	$24,000	$0	$0	$54,000
Item 19:		$0	$0	$0	$0	$0
Item 20:		$0	$0	$0	$0	$0
Item 21: Pest Control		$0	$0	$0	$0	$0
Trade Cost Subtotals		**$70,900**	**$27,400**	**$107,300**	**$22,600**	$228,200
	SUBTOTAL	$70,900	$27,400	$107,300	$22,600	$228,200
General Contractor's General Conditions	15%	$10,635	$4,110	$16,095	$3,390	$34,230
Insurance, Tax and Bond	4%	$3,261	$1,260	$4,936	$1,040	$10,497
	SUBTOTAL	$84,796	$32,770	$128,331	$27,030	$272,927
General Contractors Overhead/Profit	10%	$8,480	$3,277	$12,833	$2,703	$27,293
Construction Cost	SUBTOTAL	$93,276	$36,047	$141,164	$29,733	$300,220
Estimate Design Contingency	20%	$18,655	$7,209	$28,233	$5,947	$60,044
TOTAL ESTIMATED PROJECT CONSTRUCTION COST WITH CONTINGENCY		$111,931	$43,257	$169,397	$35,679	$360,264

Special Notes

1. Assumes 75 calendar days construction schedule. This time should allow for procurement, submittals, fabrication & installation.
2. Excludes unknown conditions discovered upon further investigation or during construction.
3. Assumes Contractor will be given free of charge a staging lay down area and parking.
4. This Cost Opinion attempts to provide a fair and reasonable cost of construction based on a stable (non volatile) market conditions.
5. Assumes Owner's favorable bidding environment (example: at least 5 responsive bids).
6. Excludes future local market condition uncertainties.
7. Includes a 20% Estimate Design Contingency.
8. Excludes an escalation allowance.
9. Excludes plan check fees and building permit fees.
10. Excludes Architect/Engineer Fees.
11. Excludes Construction Management Fees.
12. Excludes Testing and Inspection.
13. Excludes Utility Companies charges.
14. Excludes governmental agencies development assessments and fees.
15. Excludes removal of compost. Need full and complete access to work area.
16. Excludes handling of contaminated soil and hazardous material
17. Excludes handling of methane gas if encountered.

CITY OF RIALTO - Jerry Eaves Park Restroom Building 1 & 2 | Summary Repo

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1485 Ayala Dr.
Rialto, CA 92376

date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

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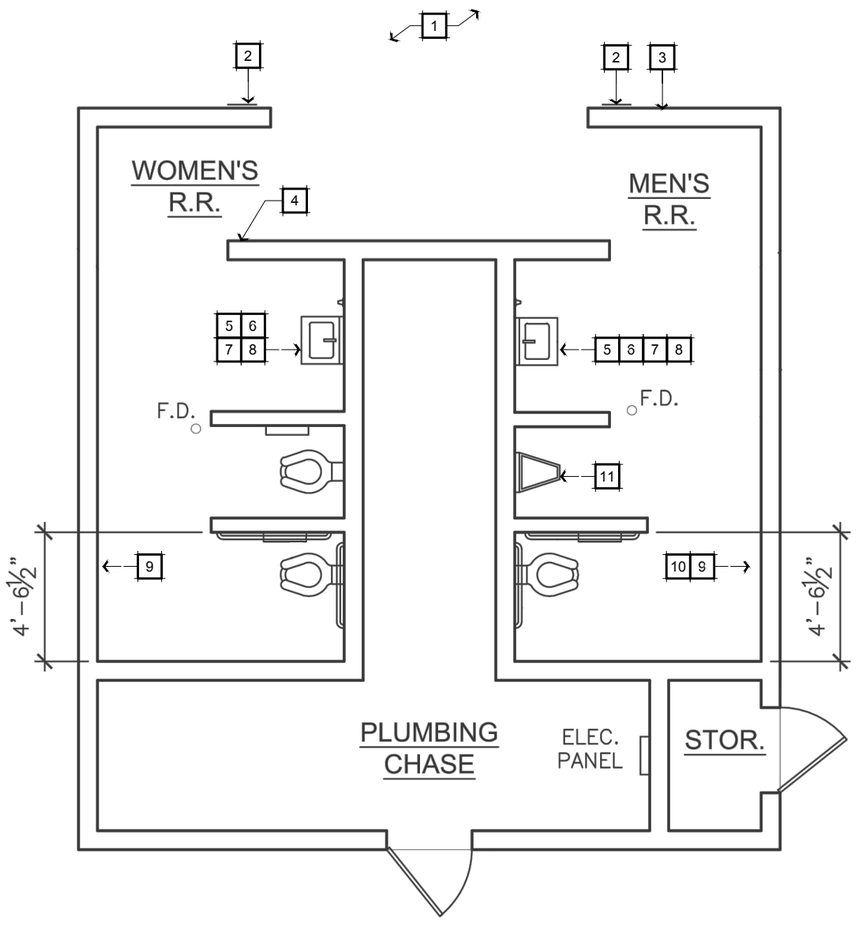
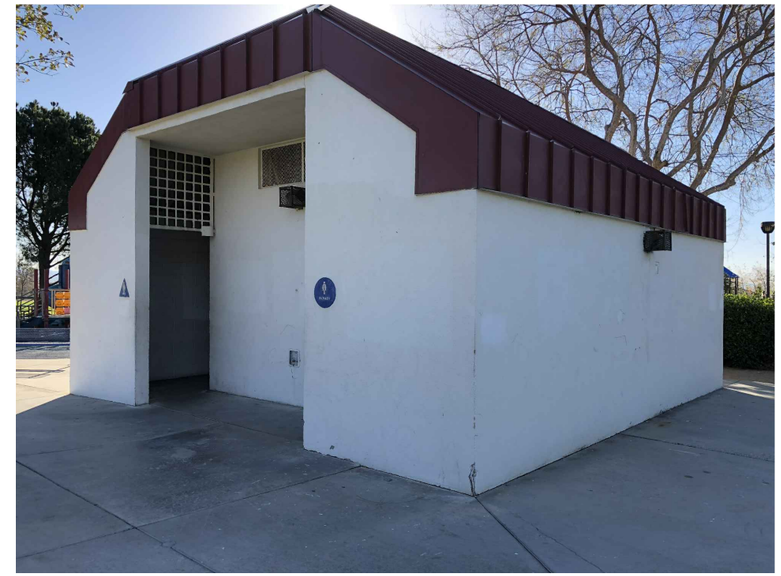
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.





KEY NOTES

1. Trip Hazard at entry of restroom. Inconsistent concrete floor level
2. Room Signage has no contrast. Signage is in wrong location
3. Non-conforming signage height. Highest height of character is at 60"
4. Gate privacy wall does not meet minimum clearance of 48" Currently at 44" clear
5. Non-functional lavatory water push button
6. Missing sink pipe insulation at lavatory
7. No existing mirror Provide new mirror
8. No soap dispenser
9. Missing coat hook Provide new coat hook
10. Missing door at accessible stall
11. Non-conforming urinal height

BUILDING DESCRIPTION

1-story restroom building, gable roof (639 SF)

- mens restroom
- womens restroom
- plumbing chase

Plan plan

Fergusson Park Restroom Building 1

CITY OF RIALTO - Fergusson Park Restroom Building 1

Existing Plan

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
2395 W. Sunrise Dr.
Rialto, CA 92377

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

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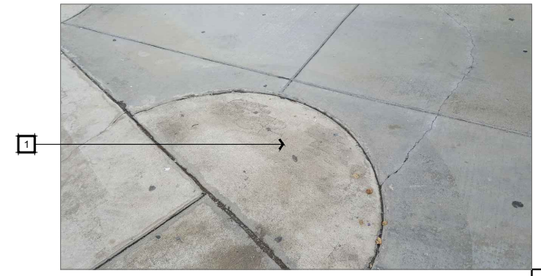

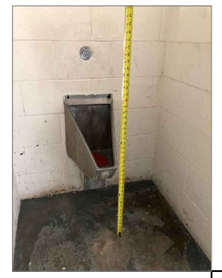

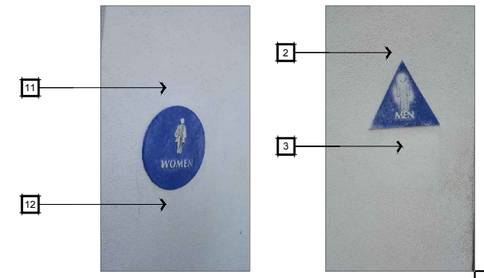

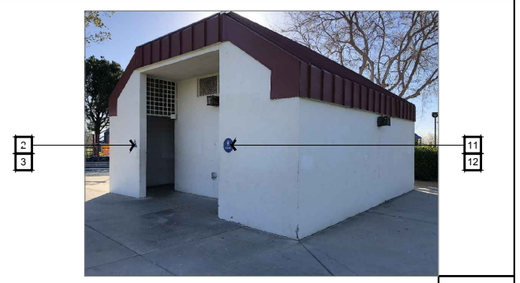

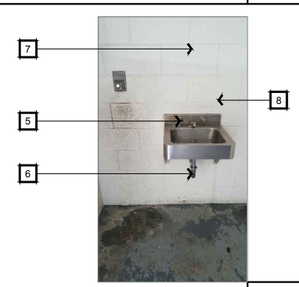

KEYNOTES	MEN'S RESTROOM BUILDING ADA DEFICIENCIES
1	Trip Hazard at entry of restroom. Inconsistent concrete floor level
2	Room Signage has no contrast. Signage is in wrong location
3	Non-conforming signage height. Highest height of character is at 60"
4	Gate privacy wall does not meet minimum clearance of 48" Currently at 44" clear
5	Non-functional lavaroty water push button
6	Missing sink pipe insulation at lavatory
7	No mirror
8	No soap dispenser
9	No coat hook
10	Missing door at accessible stall

KEYNOTES	WOMEN'S RESTROOM BUILDING ADA DEFICIENCIES
11	Room Signage has no contrast. Signage is in wrong location
12	Non-conforming signage height. Highest height of character is at 60"
13	Gate privacy wall does not meet minimum clearance of 48" Currently at 44" clear
14	Non-functional lavaroty water push button
15	Missing sink pipe insulation at lavatory
16	No mirror
17	No soap dispenser
18	No coat hook
19	Missing door at accessible stall

CITY OF RIALTO - Fergusson Park Restroom Building 1

Deficiencies

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
2395 W. Sunrise Dr.
Rialto, CA 92377

date:
04.27.2018

project no. 17X103.00

scale: Not to Scale

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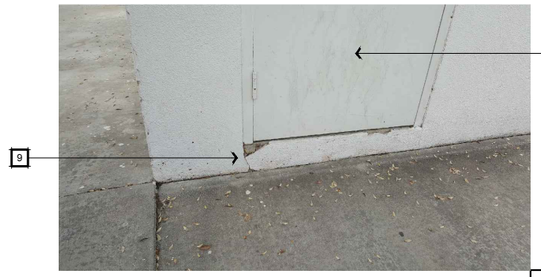
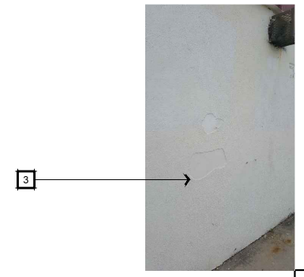
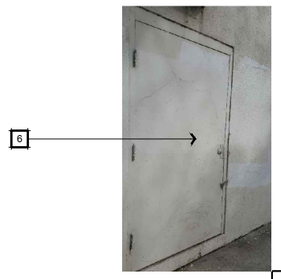
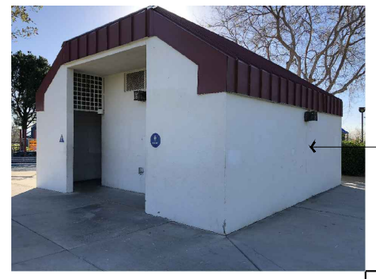
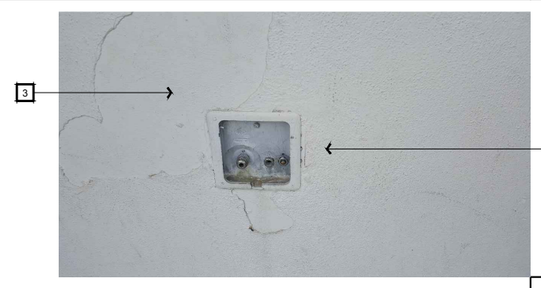
KEYNOTES	BUILDING 1 MAINTENANCE
1	Floor needs to be refinished thru-out
2	Wall needs to be repainted thru-out
3	Plaster repair thru-out the building
4	Both restroom has no lights
5	Gate is rusted and needs to be refurbished
6	No door handle at all exterior doors
7	Roof repair
8	Missing panel cover for utilities
9	Cracking at storage door slab

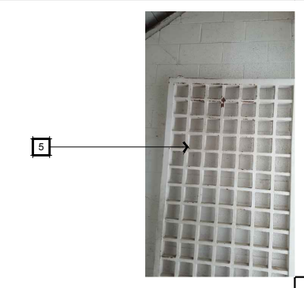












CITY OF RIALTO - Fergusson Park Restroom Building 1

Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

2395 W. Sunrise Dr.
Rialto, CA 92377

date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

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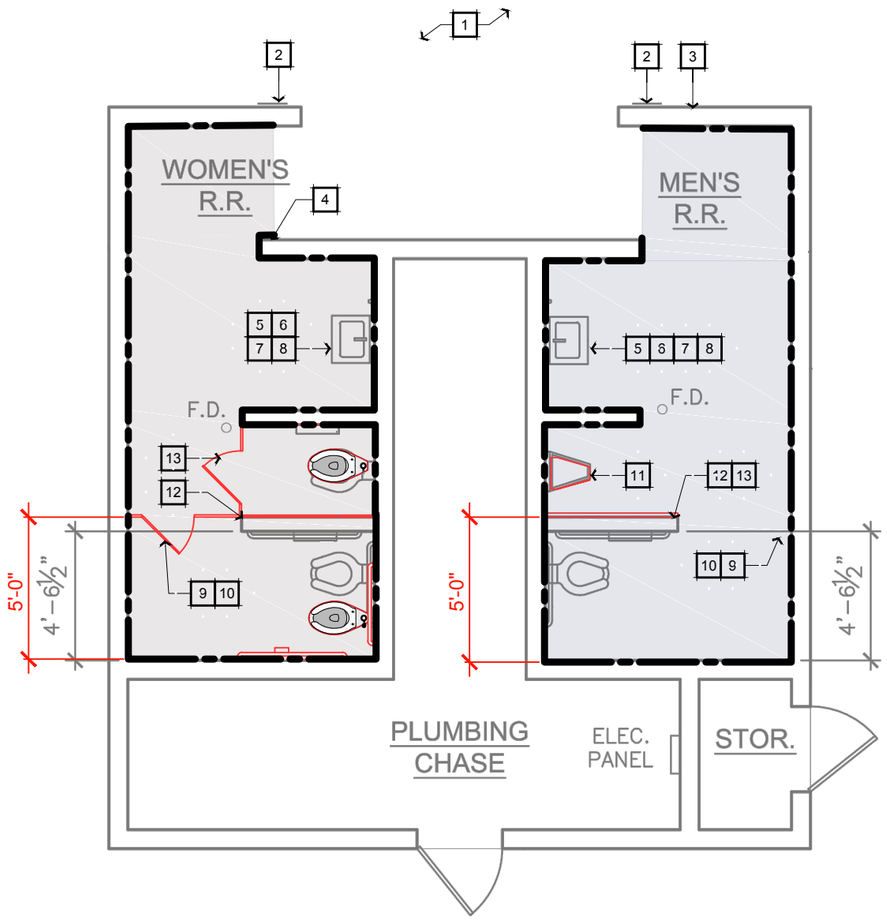

LIFE CYCLE ANALYSIS

BUILDING Fergusson Park Building 1
YEAR BUILT 1995
SF 639

AGE 23

BASELINE (YEARS)		**Remaining (Years)**	
Exterior Elements (Shell)			
Walls			
Masonry	100	77	
Stucco	50	27	
Doors & windows	25	2	
Roof	20	-3	PAST LIFECYCLE
Interior Elements (Improvements)			
Walls			
Masonry	100	77	
Drywall	25	2	
Doors	25	2	
Floors	20	-3	PAST LIFECYCLE
Ceiling	20	-3	PAST LIFECYCLE
Toilet fixtures	20	-3	PAST LIFECYCLE CRITICAL COMPONENT
Casework	20	-3	PAST LIFECYCLE
Utilities (Equipment)			
Electrical			
System	50	27	
Equipment	25	2	
Plumbing			
System	50	27	
Equipment	25	2	
Mechanical			
System	50	27	
Equipment	25	2	
Kitchen			
Equipment	-	-	

Note:
1. Substructure elements are considered to last a lifetime (100+)
2. Asbestos and lead likelihood - unlikely

KEY NOTES

1. Repair Inconsistent concrete floor level
2. New signage
4. Gate privacy wall does not meet minir clearance of 48" Currently at 44" clea
5. New lavatory
6. Provide sink pipe insulation at lavatory
7. provide new mirror
8. Provide new soap dispenser
9. Provide new coat hook
10. New door at accessible stall
11. Relocated urinal
12. Demolish existing wall
13. New partition

Plan plan

Fergusson Park Restroom Building 1

CITY OF RIALTO - Fergusson Park Restroom Building 1

Recommendati

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
2395 W. Sunrise Dr.
Rialto, CA 92377

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

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t: 949.387.8500, f: 949.387.

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Fergusson Park - Restrooms Re	
WORK:	**Fergusson Building 1 ADA**	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
				$0
NO Number				$0
Floor sealer at entire restrooms men and women	2,000	sf	$6.00	$12,000
				$0
Division Total				$12,000
Item 02: Doors and Thresholds				
				$0
KN 2 and 19 Missing door at accessible stall (men and women	1	ea	$2,500.00	$2,500
				$0
Division Total				$2,500
Item 03: Signage				
				$0
KN 2,3,11 and 12 Provide signage thru-out men and women	2	ea	$500.00	$1,000
				$0
Division Total				$1,000
				$0
Item 04: Plumbing including Fixtures				
				$0
KN 5 and 14 Non functional lav	2	ea	$4,000.00	$8,000
KN 6 and 15 sink pipe insulation	2	ea	$500.00	$1,000
				$0
Division Total				$9,000
Item 05 Restrooms Accessories				
				$0
KN 7,8,9,16,17,18 misc accessories men and women	2	ea	$1,000.00	$2,000
				$0
Division Total				$2,000
Item 08: Exterior Concrete Slab Slope Repair				
				$0
KN 1 Repair sidewalk Slab depression	1	ea	$8,000.00	$8,000
				$0
Division Total				$8,000
Item 16: Entry Gate Privacy Wall Clearance not 48" Minimum				
				$0
Entry Widening /Cut and Modify CMU Wall and Roofs Support				$0
KN 4 and 13 Gate privacy wall modify to provide 48" Clearance				$0
Entry Widening /Cut and Modify CMU Wall and Roofs Support				$0
Men	1	ls	$20,000.00	$20,000
Women	1	ls	$20,000.00	$20,000
Roof modification	1	ls	$20,000.00	$20,000
				$0
Division Total				$60,000
			SUBTOTAL	$94,500

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Fergusson F	
WORK:	**Fergusson Building 1 Maintenance/ Repair**	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
				$0
KN 1 Install epoxy floor sealer at entire building	600	sf	$10.00	$6,000
				$0
Division Total				$6,000
Item 02: Doors and Thresholds				
				$0
KN 5 Rusted Gate- clean/Repaint	2	ea	1000	$2,000
KN 6 - Install door handle at storage rooms exterior doors	2	ea	800	$1,600
KN 12 - Install sweeps at storage rooms exterior doors	2	ea	500	$1,000
				$0
Division Total				$4,600
Item 04: Plumbing including Fixtures				
				$0
KN 8 Missing cover at utility box	1	ea	$500.00	$500
				$0
Division Total				$500
Item 08: Exterior Concrete Slab Slope Repair				
				$0
KN 9 - Crack at storage slab	1	ea	$5,000.00	$5,000
				$0
Division Total				$5,000
Item 10: Drywall				
				$0
KN 3 Plaster repair throw-out r	1	ls	$10,000.00	$10,000
Division Total				$10,000
Item 11: Painting and Graffiti Removal				
				$0
KN 9 Paint Existing metal roof	1	ls	$10,000.00	$10,000
KN Paint entire building (interior and ext.)	1	ls	$20,000.00	$20,000
Division Total				$30,000
Item 13: Electrical				
				$0
KN 4 install lights at both restrooms	1	ls	$12,000.00	$12,000
				$0
Division Total				$12,000
			SUBTOTAL	$68,100

CITY OF RIALTO - Fergusson Park Building 1

Cost Analysis

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

2395 W. Sunset Dr.
Rialto CA 92377

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

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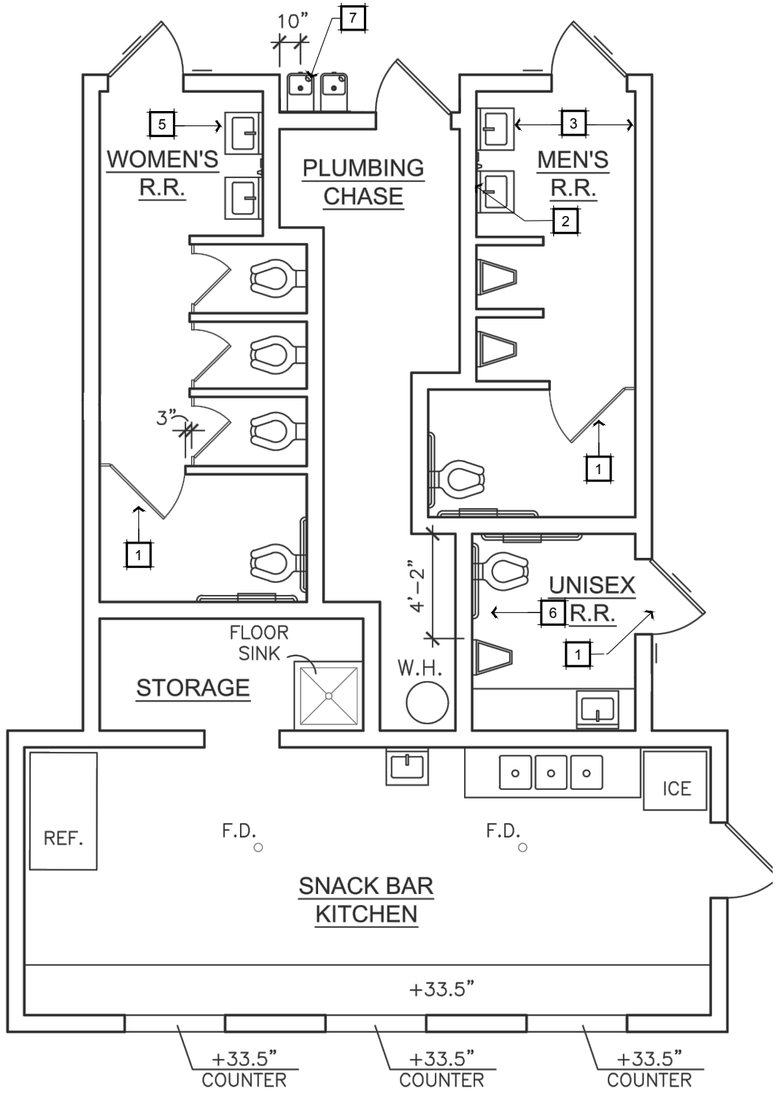
t: 949.387.8500, f: 949.387.



KEY NOTES

1. Missing coat hook Provide new coat hook
2. No existing mirror Provide new mirror
3. Verify max. opening force fore entry door
4. Missing pipe insulation
5. Non-conforming maneuvering space. Min. at 60". 4'-2" existing.
6. Non-conforming maneuvering space at HI/LO drinking fountain

BUILDING DESCRIPTION

1-story snack bar, kitchen, restroom building, gable roof (932 SF)

- concession/kitchen
- dry storage
- mens restroom
- womens restroom
- plumbing chase

KEY PLAN

Fergusson Park Restroom Building 2

CITY OF RIALTO - Fergusson Park Snack Bar & Restroom Bldg. 2 | Existing Plan

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
2395 W. Sunrise Dr.
Rialto, CA 92377

date:
04.27.2018

project no. 17X103.00

scale: Not to Scale

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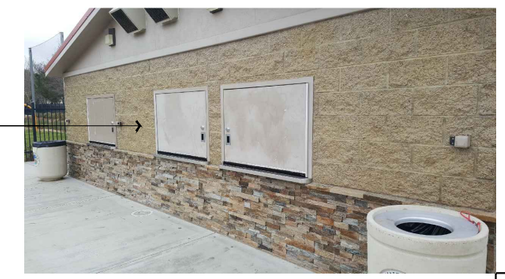

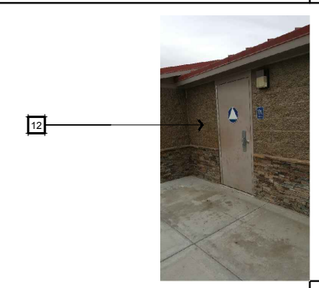

KEYNOTES	MEN'S RESTROOM BUILDING ADA DEFICIENCIES
1	No Coat hook at all stalls
2	Missing mirror
3	Verify max opening force for entry door

KEYNOTES	WOMEN'S RESTROOM BUILDING ADA DEFICIENCIES
4	No Coat hook at all stalls
5	Missing mirror
6	Verify max opening force for entry door

KEYNOTES	UNISEX RESTROOM, SNACK BAR, PLUMBING CHASE BUILDING ADA DEFICIENCIES
7	Non-conforming maneuvering space at HI/LO drinking fountain
8	Verify door opening force
9	Missing pipe insulation
10	Missing mirror
11	Non-conforming maneuvering space. Min. at 60". 4'-2" existing.
12	No signage for Unisex door & Snack Bar door
13	No signage for accessible counters at snack bar

CITY OF RIALTO - Fergusson Park Snack Bar & Restroom Bldg. 2 | Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

2395 W. Sunrise Dr.
Rialto, CA 92377

date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

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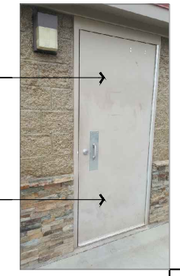
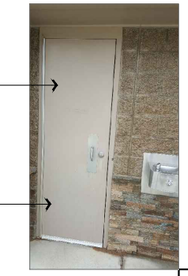
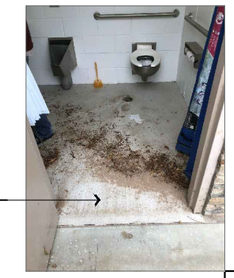
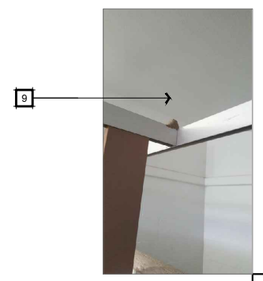
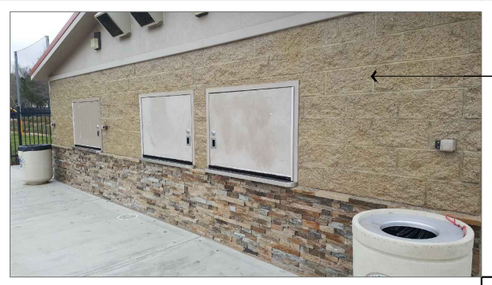
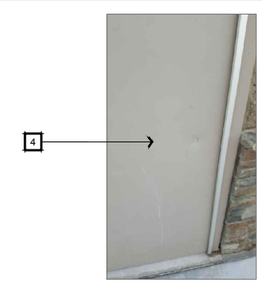












KEYNOTES	BUILDING 2 MAINTENANCE
1	Need signage thru-out the building
2	Need exit sign in snack bar
3	Non-functinal lights
4	Dent at entry doors
5	Dent at HI/LO drinking fountain
6	Broken latch at women's accessible restroom
7	Need door sweep at all exterior doors. Dirt and water runoff in the restroom
8	Sink drain pipe is detached inside snack bar
9	Insect nest at women's accessible stall

CITY OF RIALTO - Fergusson Park Restroom Building 2

Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

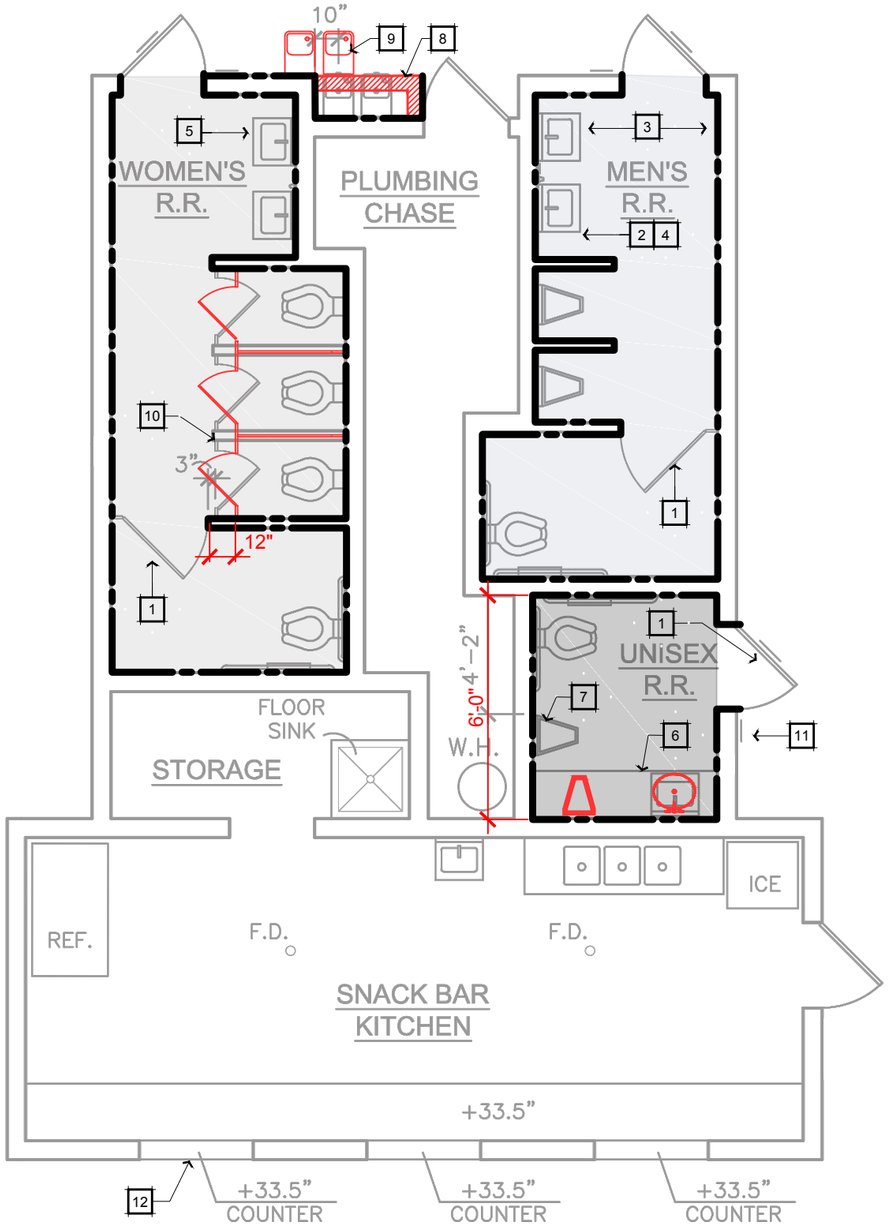
2395 W. Sunrise Dr.
Rialto, CA 92377

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvine, CA 92606
t: 949.387.8500, f: 949.387.0800



LIFE CYCLE ANALYSIS

BUILDING+A1:I38 Fergusson Park Building 2

YEAR BUILT	2010
SF	932
AGE	8

BASELINE (YEARS)		**Remaining (Years)**	
Exterior Elements (Shell)			
Walls			
Masonry	100	92	
Stucco	50	42	
Doors & windows	25	17	
Roof	20	12	
Interior Elements (Improvements)			
Walls			
Masonry	100	92	
Drywall	25	17	
Doors	25	17	
Floors	20	12	
Ceiling	20	12	
Toilet fixtures	20	12	CRITICAL COMPONENT
Casework	20	12	
Utilities (Equipment)			
Electrical			
System	50	42	
Equipment	25	17	
Plumbing			
System	50	42	
Equipment	25	17	
Mechanical			
System	50	42	
Equipment	25	17	
Kitchen			
Equipment	25	17	

Note:
1. Substructure elements are considered to last a lifetime (100+)
2. Asbestos and lead likelihood - unlikely

KEY NOTES

1. Provide new coat hook
2. Provide new mirror
3. Verify max. opening force fore entry door
4. Provide pipe insulation
5. Remove urinal
6. Remove existing sink and counter top.
7. New urinal
8. New wall
9. Relocated drinking fountain for ADA accesses
10. Demolish wall and replace with new partition
11. Provide signage for Unisex restroom
12. Provide ADA signage in snak bar counter

KEY PLAN

Fergusson Park Restroom Building 2

CITY OF RIALTO - Fergusson Park Snack Bar & Restroom Bldg. 2 | Recommendations

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
2395 W. Sunrise Dr.
Rialto, CA 92377

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvine, CA 92606
t: 949.387.8500, f: 949.387.0800

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Fergusson Park	
WORK:	Fergusson Building 2 ADA	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 02: Doors and Thresholds				
				$0
KN 3:Verify maximum opening force of entry at door- Repair	1	ls	$1,000.00	$1,000
KN 6: Verify maximum opening force of entry at door: Repair	1	ls	$1,000.00	$1,000
				$0
Division Total				$2,000
Item 04: Plumbing including Fixtures				
				$0
KN 7 Replace/ drinking fountain HI/LO	1	ea	$5,000.00	$5,000
KN9 Install pipe insulation at sink	1	ea	$200.00	$200
				$0
Division Total				$5,200
Item 05 Restrooms Accessories				
				$0
KN 1 and 2 Toilet accessories at men	1	ls	$600.00	$600
KN 4 and 5 Toilet accessories at women	1	ls	$600.00	$600
				$0
Division Total				$1,200
Item 06: Counters Heights				
				$0
KN 17/18 Remove/lower Pass thru window counter (reuse existi	1	ls	$4,000.00	$4,000
Cut and repair CMU wall	1	ls	$5,000.00	$5,000
Replace security grille	1	ls	$4,000.00	$4,000
				$0
Division Total				$13,000
Item 17: Non Conforming Accessible/Maneuvering Clearance Stall at Restrooms				
				$0
KN 11: Not conforming to 5' maneuverability at stall				
Remove existing CMU wall	1	ls	$7,000.00	$7,000
Install new partition	1	ls	$2,000.00	$2,000
Repair finishes/slab	1	ls	$10,000.00	$10,000
Move and reinstall plumbing fixtures	1	ls	$5,000.00	$5,000
Division Total				$24,000
			SUBTOTAL	$45,400

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Fergusson P	
WORK:	Fergusson Building 2 Maintenance/ Repair	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 02: Doors and Thresholds				
				$0
KN 4 Dented door- Repair and paint	1	ea	$1,000.00	$1,000
KN 7 - Install sweeps at storage rooms exterior doors	5	ea	$500.00	$2,500
				$0
Division Total				$3,500
Item 03: Signage				
				$0
KN 1,2- Provide signage thru-out	1	ls	$1,000.00	$1,000
				$0
Division Total				$1,000
Item 04: Plumbing including Fixtures				
				$0
KN 5 Dented LO-HI drinking fountain	1	ea	$1,000.00	$1,000
KN 8 provide sink drain pipe insulation	1	ea	$300.00	$300
				$0
Division Total				$1,300
Item 09: Toilet Partitions/Urinal Screens				
				$0
KN 6 Broken latch at women accessible stall	1	ls	$4,000.00	$4,000
				$0
Division Total				$4,000
Item 13: Electrical				
				$0
KN 3 install lights at both restrooms	1	ls	$12,000.00	$12,000
				$0
Division Total				$12,000
Item 21: Pest Control				
				$0
KN9 Remove insect nest at women restroom	1	ls	$1,000.00	$1,000
				$0
Division Total				$1,000
			SUBTOTAL	$22,800

CITY OF RIALTO - Fergusson Park Building 2

Cost Analysis

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

2395 W. Sunset Dr.
Rialto CA 92377

date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.

"ROM" OPINION OF PROBABLE COST OF CONSTRUCTION SUMMARY

Date: 3/15/2018

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT: RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Fergusson Park - Restrooms Repairs

WORK: Building ADA and Maintenance Deficiencies Repairs (Excludes Site Upgrade)

IDS Job:18X103

Description	Fergusson Building 1 ADA	Fergusson Building 2 ADA	Fergusson Building 1 Maintenance/ Repair	Fergusson Building 2 Maintenance/ Repair	Totals
Item 01: Interior Floor Repair and Finishing	$12,000	$0	$6,000	$0	$18,000
Item 02: Doors and Thresholds	$2,500	$2,000	$4,600	$3,500	$12,600
Item 03: Signage	$1,000	$0	$0	$1,000	$2,000
Item 04: Plumbing including Fixtures	$9,000	$5,200	$500	$1,300	$16,000
Item 05 Restrooms Accessories	$2,000	$1,200	$0	$0	$3,200
Item 06: Counters Heights	$0	$13,000	$0	$0	$13,000
Item 07: Condiment Stand	$0	$0	$0	$0	$0
Item 08: Exterior Concrete Slab Slope Repair	$8,000	$0	$5,000	$0	$13,000
Item 09: Toilet Partitions/Urinal Screens	$0	$0	$0	$4,000	$4,000
Item 10: Drywall	$0	$0	$10,000	$0	$10,000
Item 11: Painting and Graffiti Removal	$0	$0	$30,000	$0	$30,000
Item 12: Casework Repair/Replacement	$0	$0	$0	$0	$0
Item 13: Electrical	$0	$0	$12,000	$12,000	$24,000
Item 14: Repair Roof Access	$0	$0	$0	$0	$0
Item 15: Repair Visible Cracked Beams (Fill in cracks and apply Paint/Sealer)	$0	$0	$0	$0	$0
Item 16: Entry Gate Privacy Wall Clearance not 48" Minimum	$60,000	$0	$0	$0	$60,000
Item 17: Non Conforming Accessible/Maneuvering Clearance Stall at	$0	$24,000	$0	$0	$24,000
Item 18:No Conforming Maneuvering Space at Snack Bar/kitchen	$0	$0	$0	$0	$0
Item 19:	$0	$0	$0	$0	$0
Item 20:	$0	$0	$0	$0	$0
Item 21: Pest Control	$0	$0	$0	$1,000	$1,000
Trade Cost Subtotals	**$94,500**	**$45,400**	**$68,100**	**$22,800**	$230,800
SUBTOTAL	$94,500	$45,400	$68,100	$22,800	$230,800
General Contractor's General Conditions 15%	$14,175	$6,810	$10,215	$3,420	$34,620
Insurance, Tax and Bond 4%	$4,347	$2,088	$3,133	$1,049	$10,617
SUBTOTAL	$113,022	$54,298	$81,448	$27,269	$276,037
General Contractors Overhead/Profit 10%	$11,302	$5,430	$8,145	$2,727	$27,604
Construction Cost SUBTOTAL	$124,324	$59,728	$89,592	$29,996	$303,640
Estimate Design Contingency 20%	$24,865	$11,946	$17,918	$5,999	$60,728
TOTAL ESTIMATED PROJECT CONSTRUCTION COST WITH CONTINGENCY	**$149,189**	**$71,674**	**$107,511**	**$35,995**	**$364,369**

Special Notes

1. Assumes 75 calendar days construction schedule. This time should allow for procurement, submittals, fabrication & installation.
2. Excludes unknown conditions discovered upon further investigation or during construction.
3. Assumes Contractor will be given free of charge a staging lay down area and parking.
4. This Cost Opinion attempts to provide a fair and reasonable cost of construction based on a stable (non volatile) market conditions.
5. Assumes Owner's favorable bidding environment (example: at least 5 responsive bids).
6. Excludes future local market condition uncertainties.
7. Includes a 20% Estimate Design Contingency.
8. Excludes an escalation allowance.
9. Excludes plan check fees and building permit fees.
10. Excludes Architect/Engineer Fees.
11. Excludes Construction Management Fees.
12. Excludes Testing and Inspection.
13. Excludes Utility Companies charges.
14. Excludes governmental agencies development assessments and fees.
15. Excludes removal of compost. Need full and complete access to work area.
16. Excludes handling of contaminated soil and hazardous material
17. Excludes handling of methane gas if encountered.

CITY OF RIALTO - Fergusson Park Building 1 & 2

Summary Repo

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

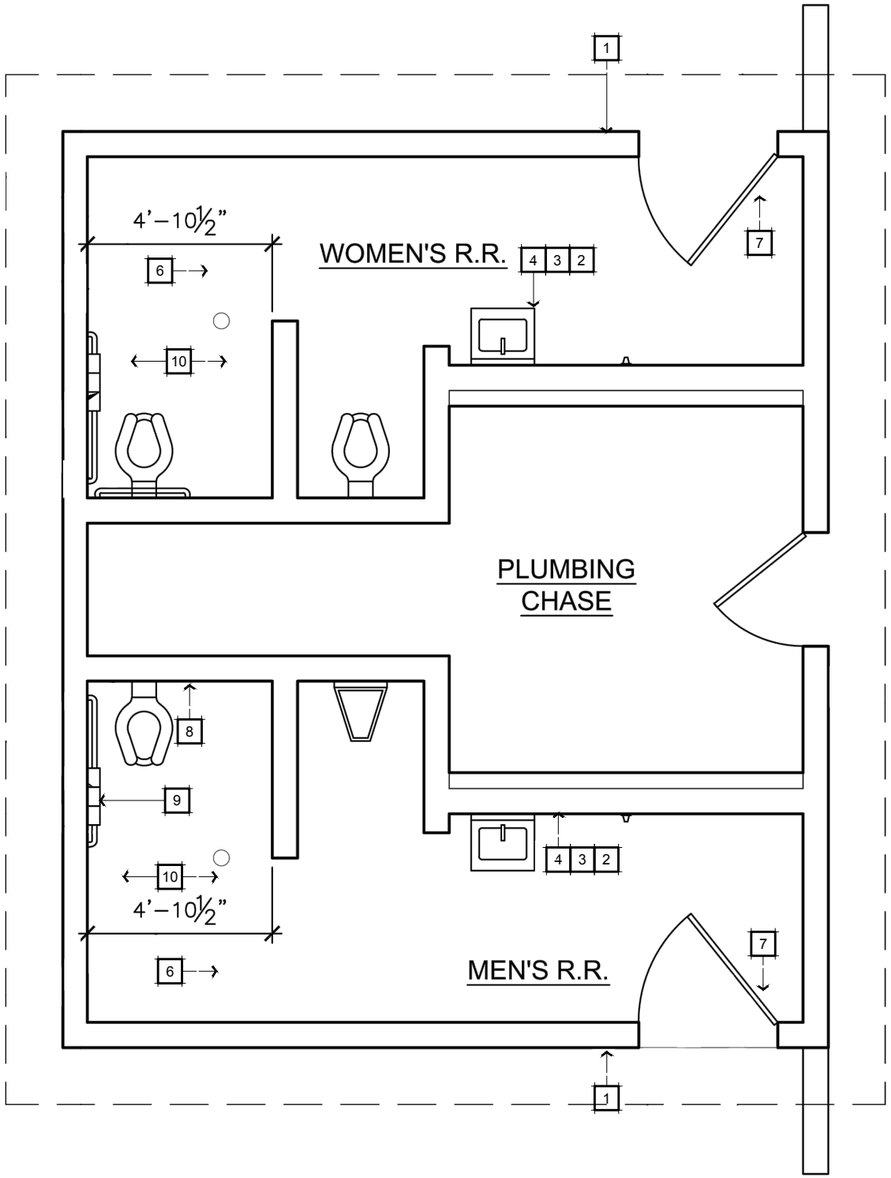
2395 W. Sunset Dr.
Rialto CA 92377

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.



KEY NOTES

1. No accessible signage
2. Missing sink pipe insulation at lavatory
3. No soap dispenser
4. No mirror
5. Non-functional lavatory water push button
6. No coat hook
7. No self -closing door
8. Missing grab bar
9. Non-conforming toilet paper dispenser location. Provide new toilet paper dispenser.
10. Non- conforming accessible stall dimention

BUILDING DESCRIPTION

1-story restroom building, gable roof (480 SF)

- mens restroom
- womens restroom
- plumbing chase

KEY PLAN

Flores Park Restroom Building

CITY OF RIALTO - Flores Park Restroom Building

Existing Plan

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1020 W. Etiwanda Ave.
Rialto, CA 92376

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
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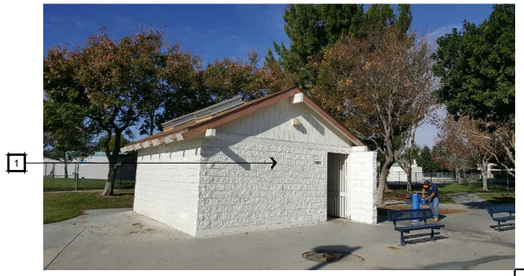

KEYNOTES	MEN'S RESTROOM BUILDING ADA DEFICIENCIES
1	No Accessible signage
2	Missing pipe protection at lavatory sink
3	No soap dispenser
4	No mirror
5	Non-conforming accessible stall dimension
6	No coat hook
7	No self-closing door
8	Missing grab bar

KEYNOTES	WOMEN'S RESTROOM BUILDING ADA DEFICIENCIES
9	No Accessible signage
10	Missing pipe protection at lavatory sink
11	No soap dispenser
12	No mirror
13	Non-conforming accessible stall dimension
14	No coat hook
15	No self-closing door

CITY OF RIALTO - Flores Park Restroom Building

Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1020 W. Etiwanda Ave.
Rialto, CA 92376

date:

04.27.2018

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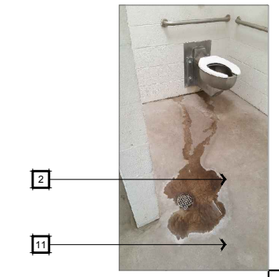
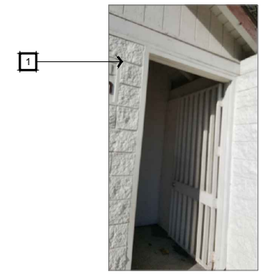
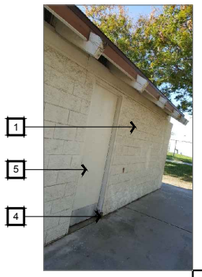
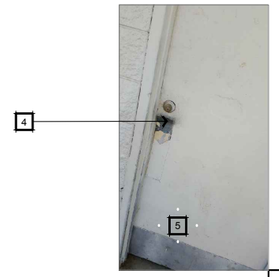
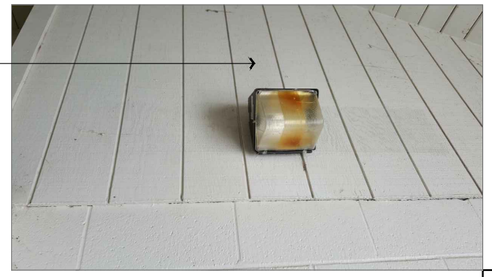
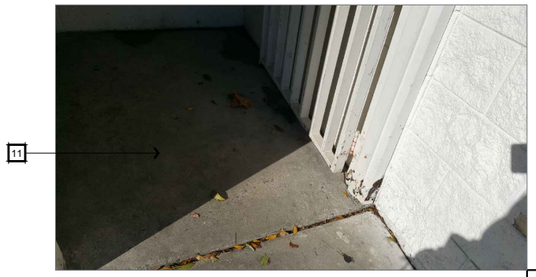


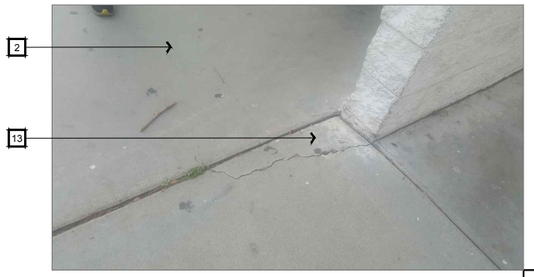


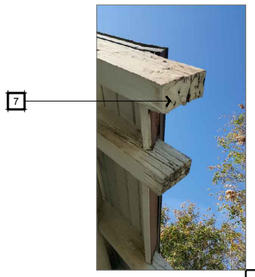












KEYNOTES	BUILDING MAINTENANCE
1	Missing signage thruout the building
2	Water ponding inside restrooms
3	Replace light fixtures thru-out
4	Rusted door, frame, & hardware
5	No door handles at exterior doors
6	Provide door sweep at all exterior doors
7	Cracked rafter tails
8	Cracked blockings
9	Dry rotted fascia
10	Ant hill thru out the exterior of building
11	Refinish floor
12	Repaint entire building
13	Broken conrete slab around restroom

CITY OF RIALTO - Flores Park Restroom Building

Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1020 W. Etiwanda Ave.
Rialto, CA 92376

date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvine, CA 92606
t: 949.387.8500, f: 949.387.0800

LIFE CYCLE ANALYSIS

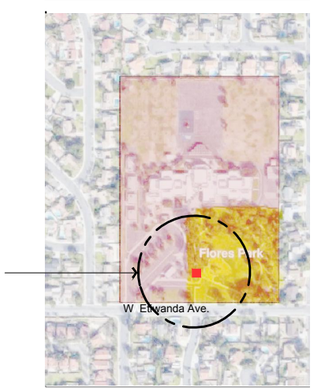
BUILDING	Flores Park Building		
YEAR BUILT	1986		
SF	480		
AGE	32		
BASELINE (YEARS)		**Remaining (Years)**	
Exterior Elements (Shell)			
Walls			
Masonry	100	68	
Stucco	50	18	
Doors & windows	25	-7	PAST LIFECYCLE
Roof	20	-12	PAST LIFECYCLE
Interior Elements (Improvements)			
Walls			
Masonry	100	68	
Drywall	25	-7	PAST LIFECYCLE
Doors	25	-7	PAST LIFECYCLE
Floors	20	-12	PAST LIFECYCLE
Ceiling	20	-12	PAST LIFECYCLE
Toilet fixtures	20	-12	PAST LIFECYCLE CRITICAL COMPONENT
Casework	20	-12	PAST LIFECYCLE
Utilities (Equipment)			
Electrical			
System	50	18	
Equipment	25	-7	PAST LIFECYCLE
Plumbing			
System	50	18	
Equipment	25	-7	PAST LIFECYCLE
Mechanical			
System	50	18	
Equipment	25	-7	PAST LIFECYCLE
Kitchen			
Equipment	-	-	

Note:
1. Substructure elements are considered to last a lifetime (100+)
2. Asbestos and lead likelihood - unlikely

KEY NOTES

1. New accessible signage
2. Provide sink pipe insulation at lava
3. New soap dispenser
4. New mirror
5. New lavatory
6. Provide new coat hook
7. Provide self -closing door
8. Install new grab bar
9. Provide new toilet paper dispenser
10. Demolish existing wall
11. New partition

KEY PLAN



Flores Park Restroom Building

CITY OF RIALTO - Flores Park Restroom Building

Recommendatio

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
1020 W. Etiwanda Ave.
Rialto, CA 92376

date:
04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Flores Park - Restrooms Repair	
WORK:	Flores Building ADA	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 02: Doors and Thresholds				
				$0
KN 7,15 Missing self closing door - add closer(men & women)	2	ea	$1,000.00	$2,000
				$0
Division Total				$2,000
Item 03: Signage				
				$0
KN 1 Men entry sign	1	ea	$300.00	$300
KN 9 Women entry sign	1	ea	$300.00	$300
				$0
Division Total				$600
				$0
Item 04: Plumbing including Fixtures				
				$0
KN 4 Provide pipe insulation under sink men & women	2	ea	$200.00	$400
				$0
Division Total				$400
Item 05 Restrooms Accessories				
				$0
KN3,4,6,8 misc accessories men and women	1	ls	$2,500.00	$2,500
KN 11,12,14 misc accessories men and women	1	ls	$1,000.00	$1,000
				$0
Division Total				$3,500
Item 17: Non Conforming Accessible/Maneuvering Clearance Stall at Restrooms				
				$0
KN 5 Nonconforming wall CMU @ men accessible stall	1	ls	$15,000.00	$15,000
KN 13 Nonconforming wall CMU @ women accessible stall	1	ls	$15,000.00	$15,000
				$0
Division Total				$30,000
			SUBTOTAL	$36,500

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Flores Park	
WORK:	Flores Building Maintenance/ Repair	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
				$0
KN 2 Mitigate water ponding problem	2	locations	$2,000.00	$4,000
KN 11 Install epoxy floor sealer at entire building	600	sf	$10.00	$6,000
				$0
Division Total				$10,000
Item 02: Doors and Thresholds				
				$0
KN 4 Rusted Gate- clean/Repaint	2	ea	1000	$2,000
KN 5 - Install door handle at storage rooms exterior doors	2	ea	800	$1,600
KN 6 - Install sweeps at storage rooms exterior doors	2	ea	500	$1,000
				$0
Division Total				$4,600
Item 03: Signage				
				$0
KN 1 Provide signage through out	1	ls	$1,000.00	$1,000
				$0
Division Total				$1,000
Item 08: Exterior Concrete Slab Slope Repair				
				$0
KN 13 - Broken concrete around restrooms	1	ls	$10,000.00	$10,000
				$0
Division Total				$10,000
Item 11: Painting and Graffiti Removal				
				$0
KN 12 Paint entire building (interior and ext.)	1	ls	$20,000.00	$20,000
Division Total				$20,000
Item 13: Electrical				
				$0
KN 3 Replace light fixtures thru out	1	ls	$12,000.00	$12,000
				$0
Division Total				$12,000
Item 15: Repair Visible Cracked Beams (Fill in cracks and apply Paint/Sealer)				
				$0
KN 7, 8,9 Fill in and seal cracked beams	1	ls	$12,000.00	$12,000
				$0
Division Total				$12,000
Item 21: Pest Control				
				$0
KN 10 Pest Control (Ant hills thru out building exterior	1	ls	$5,000.00	$5,000
				$0
Division Total				$5,000
			SUBTOTAL	$74,600

CITY OF RIALTO - Flores Park Restroom Building

Cost Analysis

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1020 W. Etiwanda Ave.
Rialto, CA 92376

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.

"ROM" OPINION OF PROBABLE COST OF CONSTRUCTION SUMMARY

Date: 3/15/2018

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	**RIALTO PUBLIC PARKS BUILDINGS REHABILITATION - Flores Park - Restrooms Repairs**
WORK:	Building ADA and Maintenance Deficiencies Repairs (Excludes Site Upgrade) — IDS Job:18X103

Description		Flores Building ADA	Not Used	Flores Building Maintenance/ Repair	Not Used	Totals
Item 01: Interior Floor Repair and Finishing		$0	$0	$10,000	$0	$10,000
Item 02: Doors and Thresholds		$2,000	$0	$4,600	$0	$6,600
Item 03: Signage		$600	$0	$1,000	$0	$1,600
Item 04: Plumbing including Fixtures		$400	$0	$0	$0	$400
Item 05 Restrooms Accessories		$3,500	$0	$0	$0	$3,500
Item 06: Counters Heights		$0	$0	$0	$0	$0
Item 07: Condiment Stand		$0	$0	$0	$0	$0
Item 08: Exterior Concrete Slab Slope Repair		$0	$0	$10,000	$0	$10,000
Item 09: Toilet Partitions/Urinal Screens		$0	$0	$0	$0	$0
Item 10: Drywall		$0	$0	$0	$0	$0
Item 11: Painting and Graffiti Removal		$0	$0	$20,000	$0	$20,000
Item 12: Casework Repair/Replacement		$0	$0	$0	$0	$0
Item 13: Electrical		$0	$0	$12,000	$0	$12,000
Item 14: Repair Roof Access		$0	$0	$0	$0	$0
Item 15: Repair Visible Cracked Beams (Fill in cracks and apply Paint/Sealer)		$0	$0	$12,000	$0	$12,000
Item 16: Entry Gate Privacy Wall Clearance not 48" Minimum		$0	$0	$0	$0	$0
Item 17: Non Conforming Accessible/Maneuvering Clearance Stall at		$30,000	$0	$0	$0	$30,000
Item 18:No Conforming Maneuvering Space at Snack Bar/kitchen		$0	$0	$0	$0	$0
Item 19:		$0	$0	$0	$0	$0
Item 20:		$0	$0	$0	$0	$0
Item 21: Pest Control		$0	$0	$5,000	$0	$5,000
Trade Cost Subtotals		**$36,500**	**$0**	**$74,600**	**$0**	$111,100
	SUBTOTAL	$36,500	$0	$74,600	$0	$111,100
General Contractor's General Conditions	15%	$5,475	$0	$11,190	$0	$16,665
Insurance, Tax and Bond	4%	$1,679	$0	$3,432	$0	$5,111
	SUBTOTAL	$43,654	$0	$89,222	$0	$132,876
General Contractors Overhead/Profit	10%	$4,365	$0	$8,922	$0	$13,288
Construction Cost	SUBTOTAL	$48,019	$0	$98,144	$0	$146,163
Estimate Design Contingency	20%	$9,604	$0	$19,629	$0	$29,233
TOTAL ESTIMATED PROJECT CONSTRUCTION COST WITH CONTINGENCY		**$57,623**	**$0**	**$117,773**	**$0**	**$175,396**

Special Notes

1. Assumes 75 calendar days construction schedule. This time should allow for procurement, submittals, fabrication & installation.
2. Excludes unknown conditions discovered upon further investigation or during construction.
3. Assumes Contractor will be given free of charge a staging lay down area and parking.
4. This Cost Opinion attempts to provide a fair and reasonable cost of construction based on a stable (non volatile) market conditions.
5. Assumes Owner's favorable bidding environment (example: at least 5 responsive bids).
6. Excludes future local market condition uncertainties.
7. Includes a 20% Estimate Design Contingency.
8. Excludes an escalation allowance.
9. Excludes plan check fees and building permit fees.
10. Excludes Architect/Engineer Fees.
11. Excludes Construction Management Fees.
12. Excludes Testing and Inspection.
13. Excludes Utility Companies charges.
14. Excludes governmental agencies development assessments and fees.
15. Excludes removal of compost. Need full and complete access to work area.
16. Excludes handling of contaminated soil and hazardous material
17. Excludes handling of methane gas if encountered.

CITY OF RIALTO - Flores Park Restroom Building

Summary Repo

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

1020 W. Etiwanda Ave.
Rialto, CA 92376

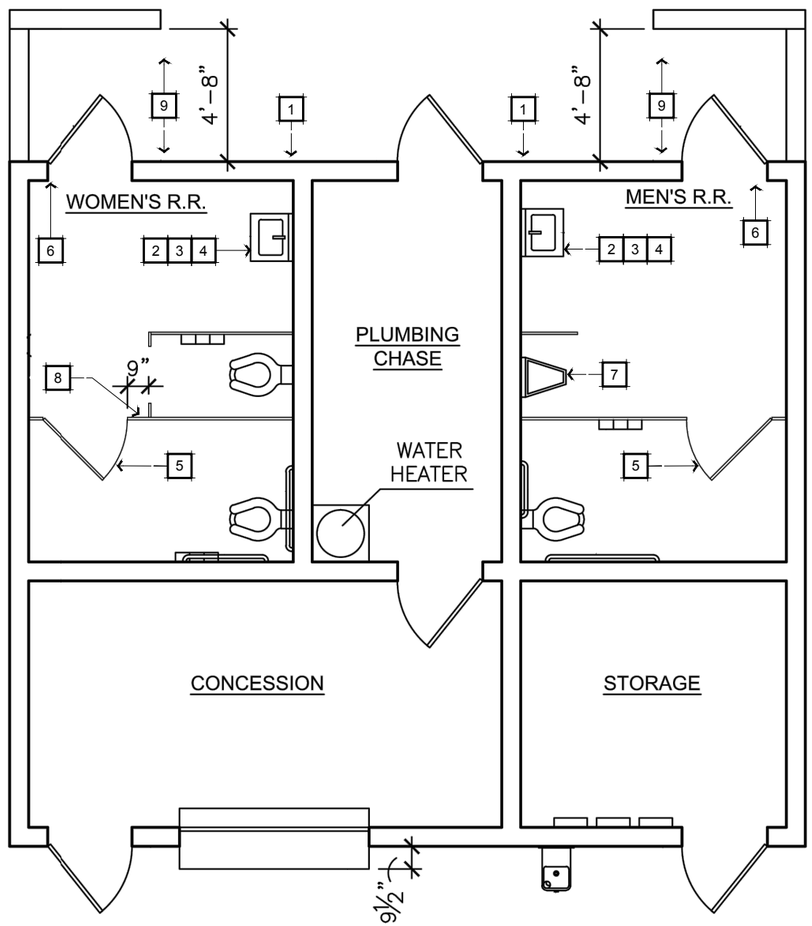
date:

04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.



KEY NOTES

1. No accessible signage
2. Missing sink pipe insulation at lavatory
3. No soap dispenser
4. No mirror
5. No coat hook
6. No self -closing door
7. Non-conforming urinal height at 20"
8. No conforming latch distance at accessible stall
9. Non-conforming maneuvering clearance

BUILDING DESCRIPTION

1-story concession, restroom building, gable roof (1527 SF)

- mens restroom
- womens restroom
- storage
- concession
- plumbing chase

Plan plan

Jerry Eaves Park
Restroom Building 1

CITY OF RIALTO - Rialto City Park Restroom Building 1

Existing Plan

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
130 E. San Bernardino Ave.
Rialto, CA 92376

date: 04.27.2018

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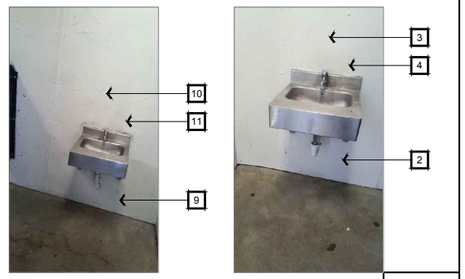

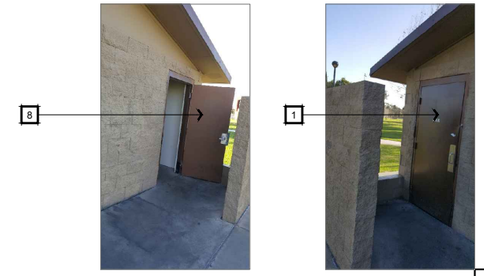

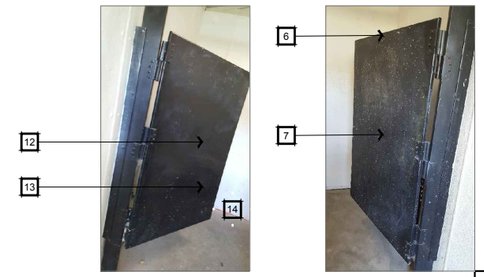

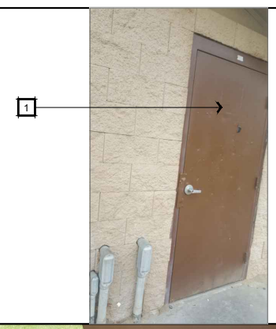

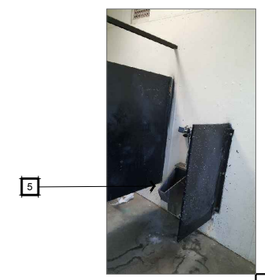

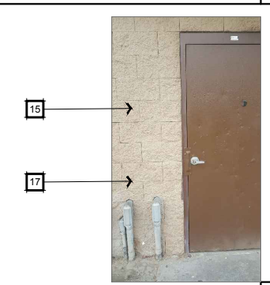

KEYNOTES	MEN'S RESTROOM BUILDING ADA DEFICIENCIES
1	No accessible signage
2	No pipe protection at lavatory sink
3	No mirror
4	No soap dispenser
5	Non-conforming urinal height at 20"
6	No self-closing door
7	No coat hook

KEYNOTES	WOMEN'S RESTROOM BUILDING ADA DEFICIENCIES
8	No accessible signage
9	No pipe protection at lavatory sink
10	No mirror
11	No soap dispenser
12	No coat hook
13	No self-closing door
14	Non-conforming latch distance at accessible stall

KEYNOTES	SNACK BAR BUILDING ADA DEFICIENCIES
15	No accessible signage
16	Tripping hazard in front of snack bar
17	Non-conforming accessible drinking fountain

CITY OF RIALTO - Rialto City Park Restroom Building 1

Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

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Rialto, CA 92376

date:

04.27.2018

project no. 17X103.00

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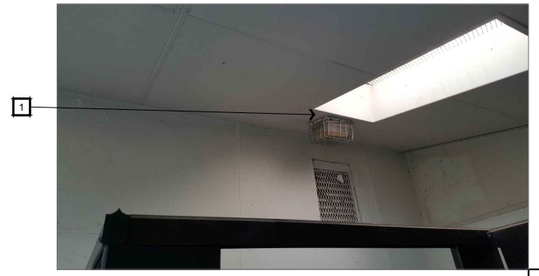

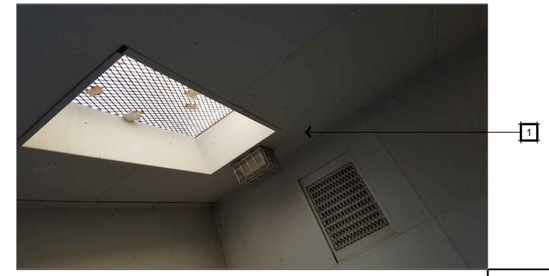

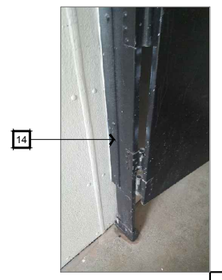

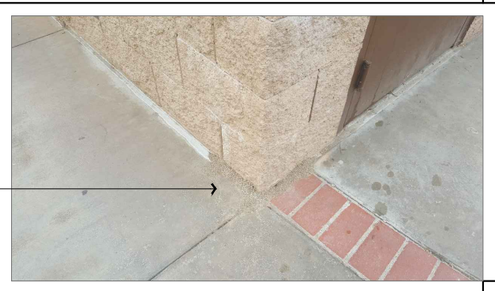

KEYNOTES	BUILDING MAINTENANCE DEFICIENCIES
1	Broken light fixture thru-out
2	Rusted door frame & hinge
3	Broken door stop at both restroom
4	Broken door handles at chase and concession
5	Provide door sweep at all exterior doors
6	Repair accessible counter at snack bar
7	Ant hill thru-out
8	Non-GFCI electric outlets in snack bar
9	Provide new floor finish
10	Repaint entire building
11	Roof oxidation
12	Re-open restroom ventilations
13	Missing door at women's stall
14	Broken hinge at men's restroom
15	Missing door handle at women's accessible stall

CITY OF RIALTO - Rialto City Park Restroom Building 1

Deficiencies

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

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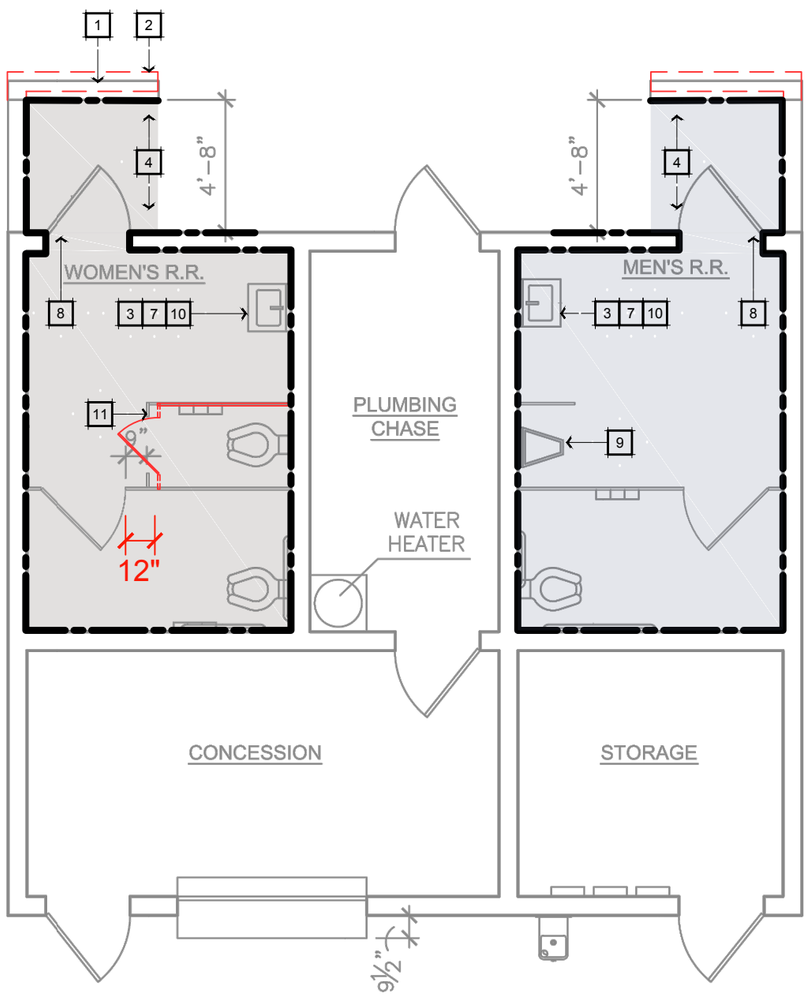


LIFE CYCLE ANALYSIS

BUILDING	Rialto City Park Building 1	
YEAR BUILT	2001	
SF	819	
AGE	17	

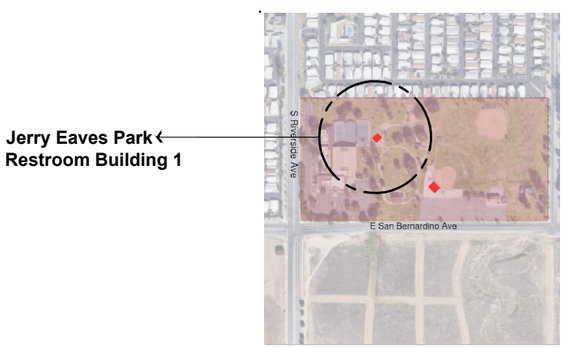
BASELINE (YEARS)		**Remaining (Years)**	
Exterior Elements (Shell)			
Walls			
Masonry	100	83	
Stucco	50	33	
Doors & windows	25	8	
Roof	20	3	
Interior Elements (Improvements)			
Walls			
Masonry	100	83	
Drywall	25	8	
Doors	25	8	
Floors	20	3	
Ceiling	20	3	
Toilet fixtures	20	3	CRITICAL COMPONENT
Casework	20	3	
Utilities (Equipment)			
Electrical			
System	50	33	
Equipment	25	8	
Plumbing			
System	50	33	
Equipment	25	8	
Mechanical			
System	50	33	
Equipment	25	8	
Kitchen			
Equipment	25	8	

Note:
1. Substructure elements are considered to last a lifetime (100+)
2. Asbestos and lead likelihood - unlikely

KEY NOTES

1. Demolish existing wall
2. New wall
3. Provide new mirror
4. Demolish existing wall and door
5. Provide coat hook, mount per ADA requirements
6. New ADA compliant door signage
7. Provide sink pipe insulation at lavatory
8. Provide new self -closing door
9. New urinal
10. New soap dispenser
11. New partition, Conforming latch distance at accessible stall

Plan plan



CITY OF RIALTO - Rialto City Park Restroom Building 1

Recommendatio

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
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date: 04.27.2018

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scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC RIALTO CITY BUILDINGS REHABILITATION - Rialto City Park - Restroo	
WORK:	Rialto City Building 1 ADA	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
				$0
KN 16 Repair conc slab to remove tripping hazard condition	1	ea	$5,000.00	$5,000
				$0
Division Total				$5,000
Item 03: Signage				
				$0
KN 1 - Men's Entry Signage	1	ea	$100.00	$100
KN 8 Women Entry Signage	1	ea	$100.00	$100
KN 15- Snack bar entry signage	1	ea	$100.00	$100
				$0
Division Total				$300
				$0
Item 04: Plumbing including Fixtures				
				$0
KN 5- Remove/Raise Urinal at men restroom	1	ea	$4,000.00	$4,000
KN 2 and 9 sink pipe insulation	2	ea	$500.00	$1,000
Snack bar KN17- Non conforming drinking fountain	1	ea	$6,000.00	$6,000
				$0
Division Total				$11,000
Item 05 Restrooms Accessories				
;				$0
Men KN 3,4,7 Missing mirror, SP, coat hook	1	ls	$1,000.00	$1,000
Women KN 10,11,12 Missing mirror, SP, coat hook	1	ls	$1,000.00	$1,000
				$0
Division Total				$2,000
Item 09: Toilet Partitions/Urinal Screens				
				$0
Men KN 6 No Self closing door at accessible stall	1	ea	$4,000.00	$4,000
Women KN 12 & 14 No Self closing door at accessible stall Non accessible latch at accessible stall	1	ea	$4,000.00	$4,000
				$0
				$0
Division Total				$8,000
			SUBTOTAL	$26,300

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC RIALTO CITY BUILDINGS REHABILITATION - Rialto	
WORK:	Rialto City Building 1 Maintenance/ Repair	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
				$0
KN 9 Install epoxy floor sealer at entire building	600	sf	$10.00	$6,000
				$0
Division Total				$6,000
Item 02: Doors and Thresholds				
				$0
KN 2 Rusted door, frame and hardware -replace and paint	3	ea	3000	$9,000
KN 3 Broken door stop M + W	2	ea	3000	$6,000
KN 4 - Install door handle at storage rooms exterior doors	1	ea	800	$800
KN 5 - Install sweeps at storage rooms exterior doors	5	ea	500	$2,500
				$0
Division Total				$18,300
Item 06: Counters Heights				
				$0
KN 6 Replace accessible counter	1	ls	$4,000.00	$4,000
				$0
Division Total				$4,000
Item 09: Toilet Partitions/Urinal Screens				
				$0
KN 13 Missing doo stall at women	1	ls	$4,000.00	$4,000
KN 14 Missing door hinges stall at men	1	ls	$500.00	$500
KN 15 Missing door hinges stall at women	1	ls	$500.00	$500
				$0
Division Total				$5,000
Item 11: Painting and Graffiti Removal				
				$0
KN 10 Paint entire building (interior and ext.)	1	ls	$25,000.00	$25,000
KN 11 Roof Oxidation Paint Roof	1	ls	$10,000.00	$10,000
Division Total				$35,000
Item 13: Electrical				
				$0
KN 1 Replace Lights with LED fixtures in	1	ls	$12,000.00	$12,000
KN 8 Replace outlet at snack bar with GFCI outlet	1	ls	$8,000.00	$8,000
				$0
Division Total				$20,000
Item 19:				
				$0
KN 12 Remove/Open restroom ventilation	1	ls	$2,000.00	$2,000
				$0
Division Total				$2,000
Item 21: Pest Control				
				$0
KN 7 Remove ant hill	1	ls	$2,000.00	$2,000
				$0
Division Total				$2,000
			SUBTOTAL	$92,300

CITY OF RIALTO - Rialto City Park Restroom Building 1

Cost Analysis

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

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date:

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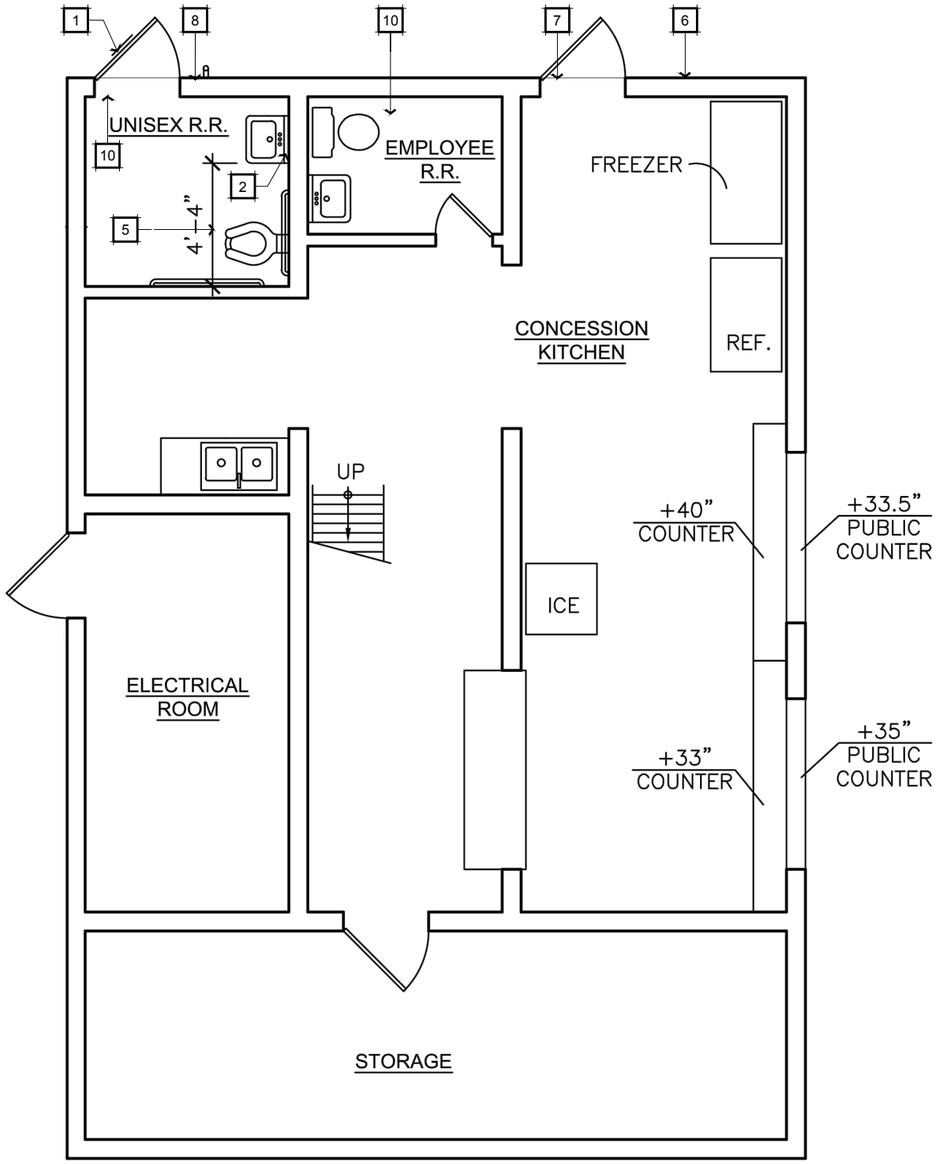

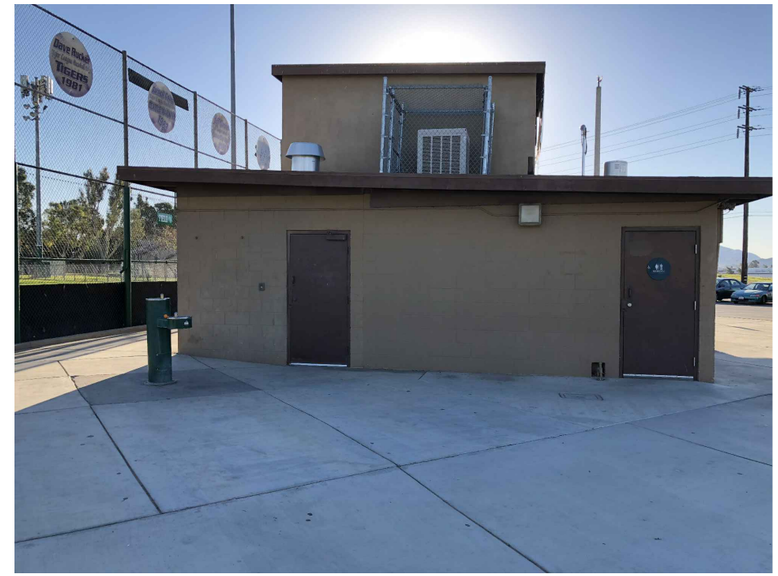

KEY NOTES

1. Accessible signage has no contrast,
2. No mirror
3. Non-conforming toilet paper dispenser location
4. No coat hook
5. Non-conforming maneuvering clearance, min. 60" (4'- existing)
6. Non-conforming room signage
7. Threshold greater than 1"
8. Non-conforming latch side clearance, Gas valve obstruction
9. insufficient maneuvering clearances
10. Non-conforming employee restroom

BUILDING DESCRIPTION

2-story snack bar, kitchen, restroom and storage building, gable roof (1338 SF)

- concession/kitchen
- dry storage
- wet area
- employee restroom
- staircase
- electrical room
- family restroom

KEY PLAN

CITY OF RIALTO - Rialto City Park Restroom & Snack Bar Bldg. 2 | Existing Plan

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

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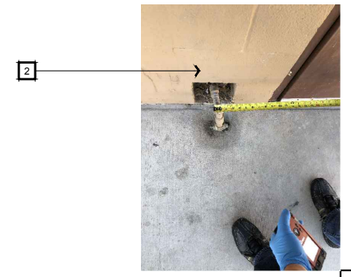

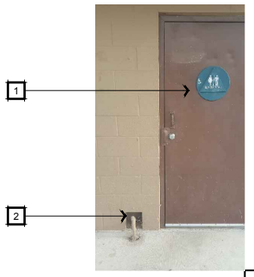

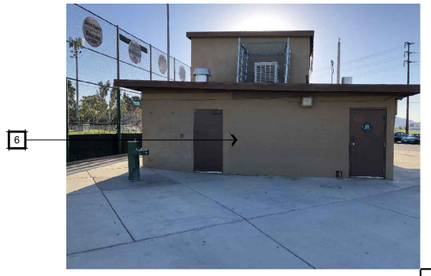

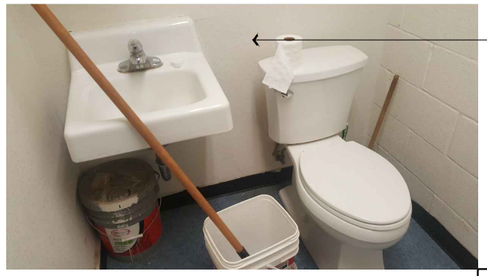

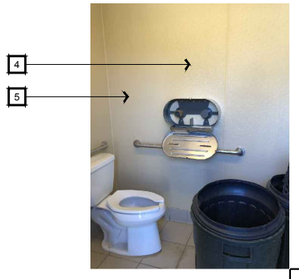

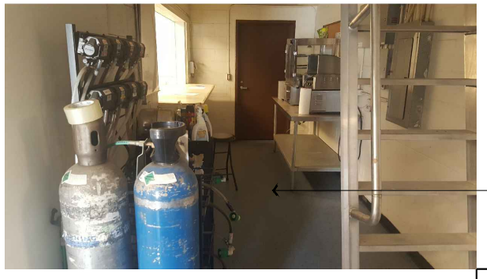

KEYNOTES	UNISEX RESTROOM BUILDING ADA DEFICIENCIES
1	Accessible signage has No contrast, non-conforming location
2	Non-conforming latch side clearance. Gas valve obstruction
3	No mirror
4	Non-conforming toilet paper dispenser location min. 7". Actual 2"
5	No Coat hook
6	Non-conforming maneuvering clearance. Min. 60". 4'-4" existing

KEYNOTES	CONCESSION BUILDING ADA DEFICIENCIES
6	Non-conforming room signage
7	Threshold greater than 1"
8	Insufficient maneuvering clearances
9	Non-Conforming employee restroom

CITY OF RIALTO - Rialto City Park Restroom & Snack Bar Bldg. 2 | Deficiencies

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
130 E. San Bernardino Ave.
Rialto, CA 92376

date:
04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS
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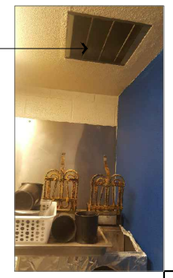
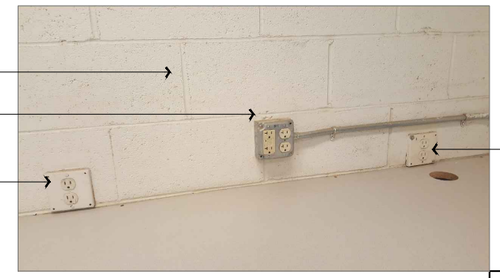
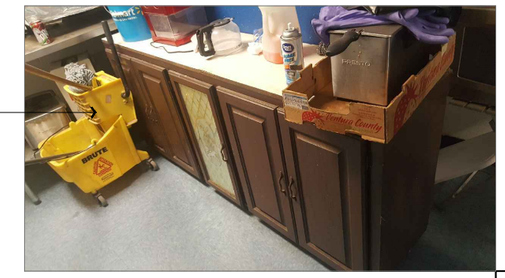
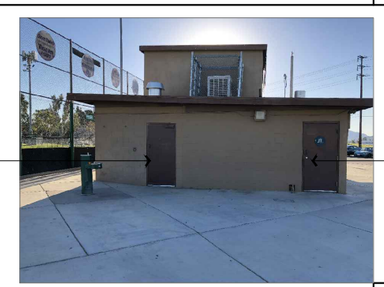
1 Peters Canyon Road, Suite 130, Irvine, CA 92606
t: 949.387.8500, f: 949.387.0800









KEYNOTES	BUILDING MAINTENANCE REPORT
1	Not mechanically cooled
2	Missing floor tile
3	Repaint interior
4	No vents for frying/cooking
5	No janitor sink (mopped & bucket in cooking area. Sanitary deficiency)
6	Relocate & replumb soda machine
7	Safety handles at stair access to press box
8	Light fixture nailer is falling off rafters
9	Clean electrical room (being used as storage)
10	Non-GCFI electrical outlets
11	Insufficient ventilation at press box
12	Insect nest (wasp) at pres box
13	No door sweep at all exterior doors

CITY OF RIALTO - Rialto City Park Restroom & Snack Bar Bldg. 2 | Deficiencies

logo:

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CITY OF RIALTO
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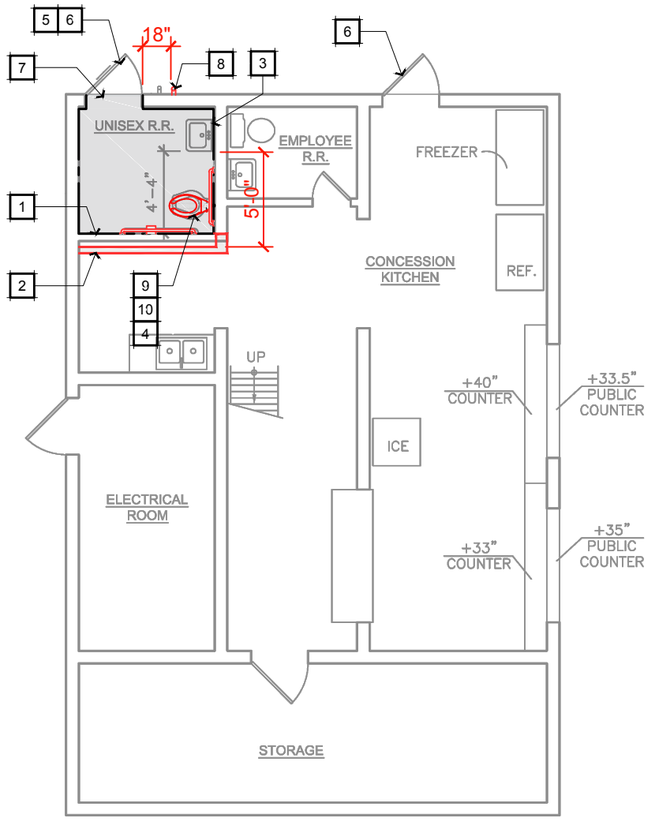

LIFE CYCLE ANALYSIS

BUILDING Rialto City Park Building 2
YEAR BUILT 2001
SF 1338

AGE 17

BASELINE (YEARS)		**Remaining (Years)**	
Exterior Elements (Shell)			
Walls			
Masonry	100	83	
Stucco	50	33	
Doors & windows	25	8	
Roof	20	3	
Interior Elements (Improvements)			
Walls			
Masonry	100	83	
Drywall	25	8	
Doors	25	8	
Floors	20	3	
Ceiling	20	3	
Toilet fixtures	20	3	CRITICAL COMPONENT
Casework	20	3	
Utilities (Equipment)			
Electrical			
System	50	33	
Equipment	25	8	
Plumbing			
System	50	33	
Equipment	25	8	
Mechanical			
System	50	33	
Equipment	25	8	
Kitchen			
Equipment	25	8	

Note:
1. Substructure elements are considered to last a lifetime (100+)
2. Asbestos and lead likelihood - unlikely

KEY NOTES

1. Demolish existing wall
2. New wall
3. Provide new mirror
4. provide new toilet paper dispenser
5. Provide coat hook, mount per ADA requirements
6. New ADA compliant door signage
7. Provide1/2" max. door threshold
8. Relocated existing Gas valve obstruction
9. Remove existing water closet
10. Provide New water closet

KEY PLAN

Rialto City Park Restroom & Snack Bar Bldg. 2

CITY OF RIALTO - Rialto City Park Restroom & Snack Bar Bldg. 2 | Recommendatio

logo:

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date:
04.27.2018

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t: 949.387.8500, f: 949.387.

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC RIALTO CITY BUILDINGS REHABILITATION - Rialto City	
WORK:	Rialto City Building 2 ADA	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 02: Doors and Thresholds				
				$0
KN 2 Non conforming latch strike clearance - Gas valve obstruction- SEE ITEM PLUMBING				$0
KN 7 Provide aluminum threshold	1	ea	$500.00	$500
				$0
Division Total				$500
Item 03: Signage				
				$0
K1, K6 non conforming room signage	2	ea	$300.00	$600
				$0
Division Total				$600
Item 04: Plumbing including Fixtures				
				$0
KN 2 Non conforming latch strike clearance - Gas valve obstruction- SEE ITEM PLUMBING				$0
>>> RELOCATE Gas valve	1	ls	$5,000.00	$5,000
				$0
Division Total				$5,000
Item 05 Restrooms Accessories				
				$0
KN 3,4,5 Missing mirror, TPD, coat hook	1	ea	$1,000.00	$1,000
				$0
Division Total				$1,000
Item 18:No Conforming Maneuvering Space at Snack Bar/kitchen				
				$0
KN 6 non conforming maneuvering clearance min 60" at Unisex	1	ls	$25,000.00	$25,000
KN 8 insufficient maneuvering clearance at kitchen	1	ls	$80,000.00	$80,000
KN 6 non conforming maneuvering clearance employee restroo	1	ls	$12,000.00	$12,000
				$0
Division Total				$117,000
			SUBTOTAL	$124,100

ESTIMATE DETAIL

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT:	RIALTO PUBLIC RIALTO CITY BUILDINGS REHABILITATION - Rialto	
WORK:	Rialto City Building 2 Maintenance/ Repair	IDS Job:18X103

Description	Quantity	Unit	Unit Cost	Total
Item 01: Interior Floor Repair and Finishing				
				$0
KN 2 Missing floor tile	600	sf	$50.00	$30,000
				$0
Division Total				$30,000
Item 02: Doors and Thresholds				
				$0
KN 13 - Install sweeps at exterior doors	3	ea	500	$1,500
				$0
Division Total				$1,500
Item 04: Plumbing including Fixtures				
				$0
K 5 No janitor sink	1	ls	$10,000.00	$10,000
K6 Relocate plumbing for soda machine	1	ls	$5,000.00	$5,000
				$0
Division Total				$15,000
Item 11: Painting and Graffiti Removal				
				$0
KN 3 Paint building interior	1	ls	$12,000.00	$12,000
Division Total				$12,000
Item 13: Electrical				
				$0
KN 8 Replace Light fixture nails falling	1	ls	$1,000.00	$1,000
KN 9 clean electrical room	1	ls	$500.00	$500
KN 10 Replace outlet at snack bar with GFCI outlet	1	ls	$8,000.00	$8,000
				$0
Division Total				$9,500
Item 19:				
				$0
K7 Safety handle at stair to access press box	1	ls	$4,000.00	$4,000
				$0
Division Total				$4,000
Item 20:				
				$0
KN 1 Not cooled mechanically - Provide HVAC	1	ls	$15,000.00	$15,000
KN 4 vent for fryer/cooktop	1	ls	$15,000.00	$15,000
KN 11 insufficient ventilation at press box	1	ls	$2,000.00	$2,000
				$0
Division Total				$32,000
			SUBTOTAL	$72,000

CITY OF RIALTO - Rialto City Park Restroom & Snack Bar Bldg. 2 | Cost Analysis

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

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Rialto, CA 92376

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

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t: 949.387.8500, f: 949.387.

"ROM" OPINION OF PROBABLE COST OF CONSTRUCTION SUMMARY

Date: 3/15/2018

Based on IDS Preliminary Condition Assessment Drawings Dated 3/7/2018

PROJECT: RIALTO PUBLIC RIALTO CITY BUILDINGS REHABILITATION - Rialto City Park - Restrooms Repairs

WORK: Building ADA and Maintenance Deficiencies Repairs (Excludes Site Upgrade) IDS Job:18X103

Description		Rialto City Building 1 ADA	Rialto City Building 2 ADA	Rialto City Building 1 Maintenance/ Repair	Rialto City Building 2 Maintenance/ Repair	Totals
Item 01: Interior Floor Repair and Finishing		$5,000	$0	$6,000	$30,000	$41,000
Item 02: Doors and Thresholds		$0	$500	$18,300	$1,500	$20,300
Item 03: Signage		$300	$600	$0	$0	$900
Item 04: Plumbing including Fixtures		$11,000	$5,000	$0	$15,000	$31,000
Item 05 Restrooms Accessories		$2,000	$1,000	$0	$0	$3,000
Item 06: Counters Heights		$0	$0	$4,000	$0	$4,000
Item 07: Condiment Stand		$0	$0	$0	$0	$0
Item 08: Exterior Concrete Slab Slope Repair		$0	$0	$0	$0	$0
Item 09: Toilet Partitions/Urinal Screens		$8,000	$0	$5,000	$0	$13,000
Item 10: Drywall		$0	$0	$0	$0	$0
Item 11: Painting and Graffiti Removal		$0	$0	$35,000	$12,000	$47,000
Item 12: Casework Repair/Replacement		$0	$0	$0	$0	$0
Item 13: Electrical		$0	$0	$20,000	$9,500	$29,500
Item 14: Repair Roof Access		$0	$0	$0	$0	$0
Item 15: Repair Visible Cracked Beams (Fill in cracks and apply Paint/Sealer)		$0	$0	$0	$0	$0
Item 16: Entry Gate Privacy Wall Clearance not 48" Minimum		$0	$0	$0	$0	$0
Item 17: Non Conforming Accessible/Maneuvering Clearance Stall at		$0	$0	$0	$0	$0
Item 18:No Conforming Maneuvering Space at Snack Bar/kitchen		$0	$117,000	$0	$0	$117,000
Item 19:		$0	$0	$2,000	$4,000	$6,000
Item 20:		$0	$0	$0	$32,000	$32,000
Item 21: Pest Control		$0	$0	$2,000	$0	$2,000
Trade Cost Subtotals		**$26,300**	**$124,100**	**$92,300**	**$104,000**	$346,700
SUBTOTAL		$26,300	$124,100	$92,300	$104,000	$346,700
General Contractor's General Conditions	15%	$3,945	$18,615	$13,845	$15,600	$52,005
Insurance, Tax and Bond	4%	$1,210	$5,709	$4,246	$4,784	$15,948
SUBTOTAL		$31,455	$148,424	$110,391	$124,384	$414,653
General Contractors Overhead/Profit	10%	$3,145	$14,842	$11,039	$12,438	$41,465
Construction Cost	SUBTOTAL	$34,600	$163,266	$121,430	$136,822	$456,119
Estimate Design Contingency	20%	$6,920	$32,653	$24,286	$27,364	$91,224
TOTAL ESTIMATED PROJECT CONSTRUCTION COST WITH CONTINGENC		$41,520	$195,919	$145,716	$164,187	$547,342

Special Notes

1. Assumes 75 calendar days construction schedule. This time should allow for procurement, submittals, fabrication & installation.
2. Excludes unknown conditions discovered upon further investigation or during construction.
3. Assumes Contractor will be given free of charge a staging lay down area and parking.
4. This Cost Opinion attempts to provide a fair and reasonable cost of construction based on a stable (non volatile) market conditions.
5. Assumes Owner's favorable bidding environment (example: at least 5 responsive bids).
6. Excludes future local market condition uncertainties.
7. Includes a 20% Estimate Design Contingency.
8. Excludes an escalation allowance.
9. Excludes plan check fees and building permit fees.
10. Excludes Architect/Engineer Fees.
11. Excludes Construction Management Fees.
12. Excludes Testing and Inspection.
13. Excludes Utility Companies charges.
14. Excludes governmental agencies development assessments and fees.
15. Excludes removal of compost. Need full and complete access to work area.
16. Excludes handling of contaminated soil and hazardous material
17. Excludes handling of methane gas if encountered.

C I T Y O F R I A L T O - Rialto City Park Restroom Building 1 & 2

Summary Repo

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

130 E. San Bernardino Ave.
Rialto, CA 92376

date: 04.27.2018

project no. 17X103.00

scale: Not to Scale

IDS GROUP
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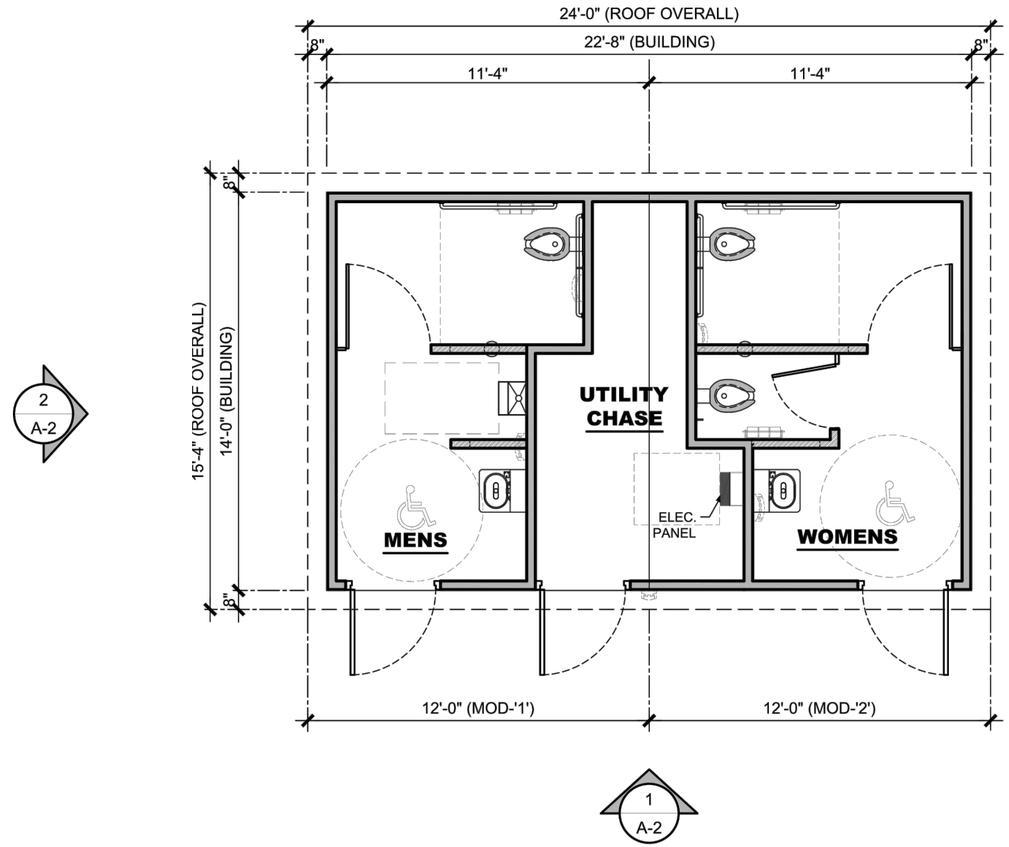
SPORTS PARK SERIES



1
A-1

FLOOR PLAN

SCALE: 3/16"=1'0"

W/ STAINLESS STEEL FIXTURE

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BUILDING TYPE:	**RESTROOM BUILDING**	**REVISION #** -	**REVISION DATE:** - / DRAWN BY: -	SHEET# **A-1**
PROJECT:	**SP-132-2M CITY, STATE**	**PROJECT #:** -	**START DATE:** - / DRAWN BY: -	MAX. PERSON / HOUR: **180 S**

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CITY OF RIALTO- Prefabricated Buildings | Options

logo:

client:
CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:
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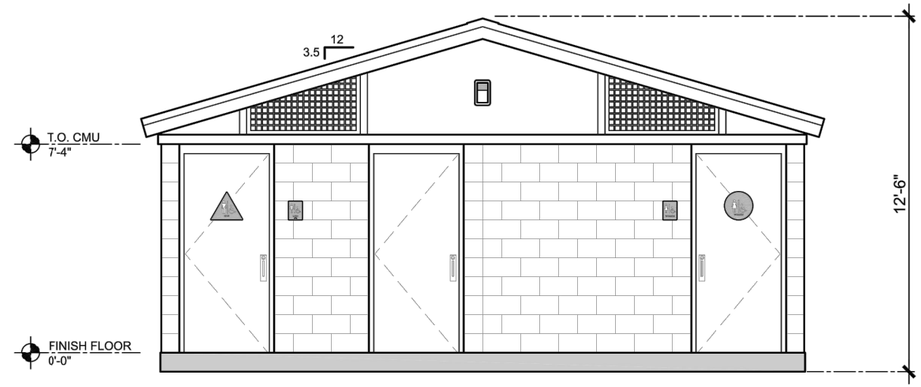
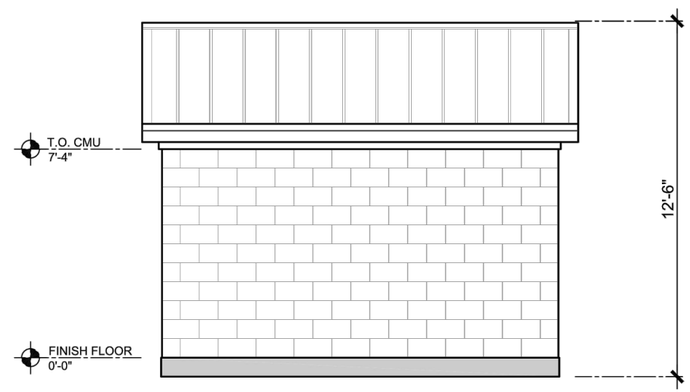
t: 949.387.8500, f: 949.387.(

PROJECT REF#: *XXXXX-XX/X/XXXX-X*

SPORTS PARK SERIES



1 / A-2 **ELEVATION 1**
SCALE: 3/16"=1'-0"



2 / A-2 **ELEVATION 2**
SCALE: 3/16"=1'-0"

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BUILDING TYPE:	**RESTROOM BUILDING**	REVISION # **-**	REVISION DATE: - / DRAWN BY: -
PROJECT:	**SP-132-2M CITY, STATE**	PROJECT #: **-**	START DATE: - / DRAWN BY: -
			SHEET# **A-2**
			MAX. PERSON / HOUR: **180 S**

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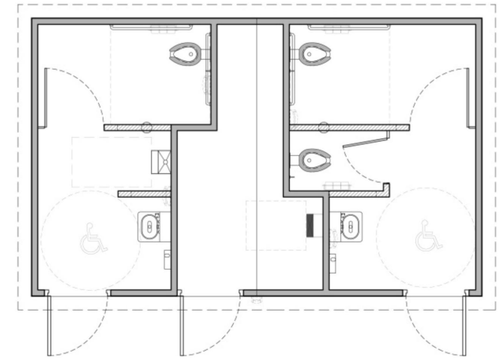
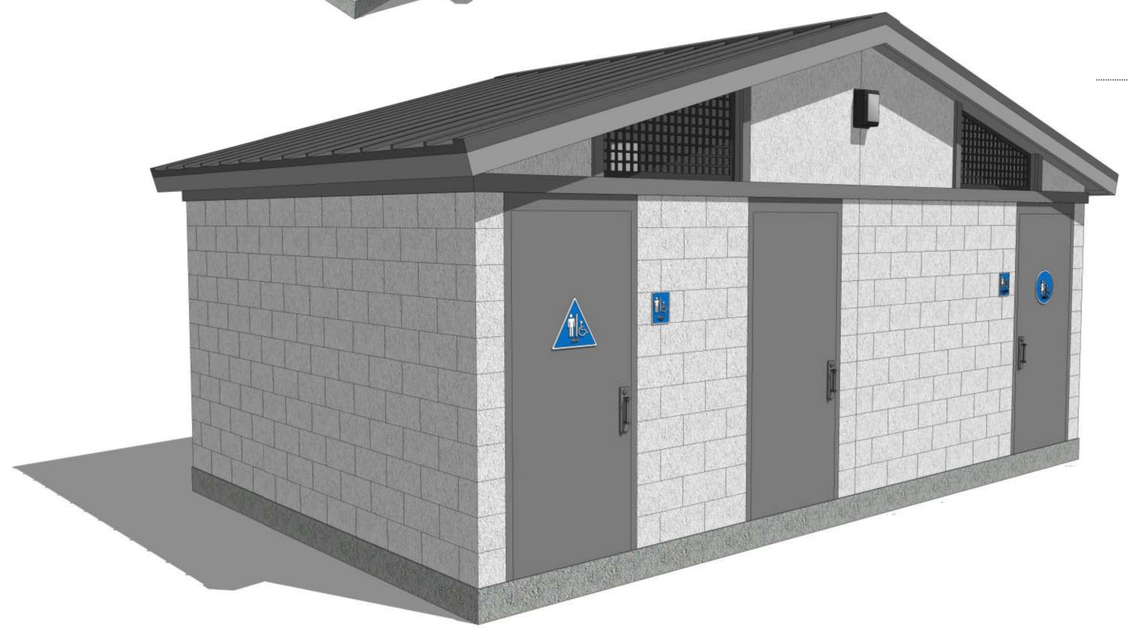


FLOOR PLAN

SCALE: NOT TO SCALE



PLAYGROUND SERIES: SP-132-2M

CITY, STATE

RESTROOM BUILDING

ARTIST IMPRESSION: 3D RENDERING ONLY FOR REPRESENTATION. COLORS AND MATERIALS ARE SUBJECT TO CHANGE

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CITY OF RIALTO - Prefabricated Buildings

Options

logo:

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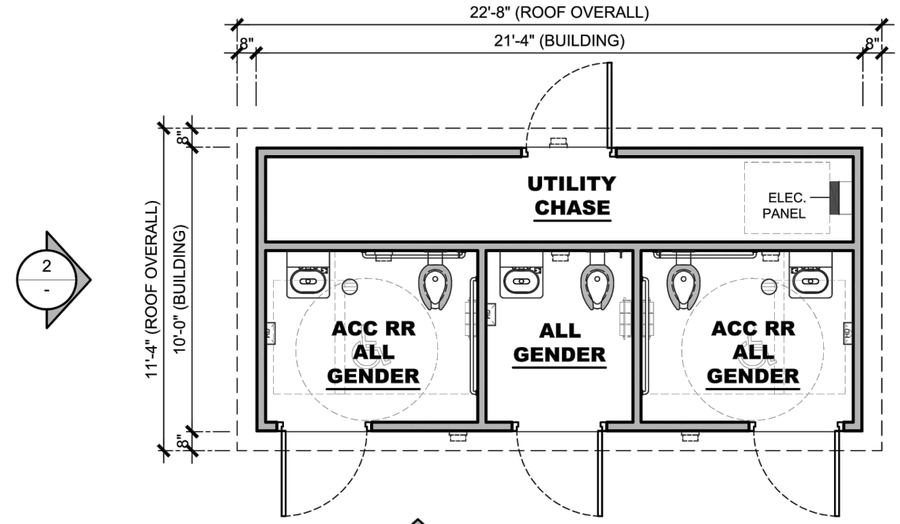
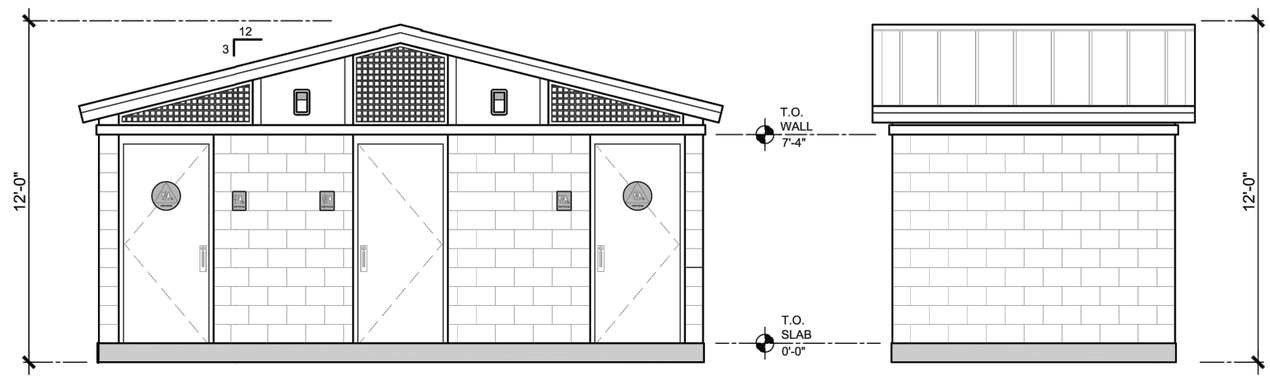


2 -

1 -

FLOOR PLAN

SCALE: 3/16"=1'0"



ELEVATION 1

SCALE: 3/16"=1'-0"

ELEVATION 2

SCALE: 3/16"=1'-0"

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BUILDING TYPE:	**RESTROOM BUILDING**	**REVISION #** -	**REVISION DATE:** -	SHEET#
PROJECT:	**PS-033 CITY, STATE**	**PROJECT #:** -	DRAWN BY: -	MAX. PERSON / HOUR: **135 S**
			START DATE: -	
			DRAWN BY: -	

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CITY OF RIALTO- Prefabricated Buildings

Options

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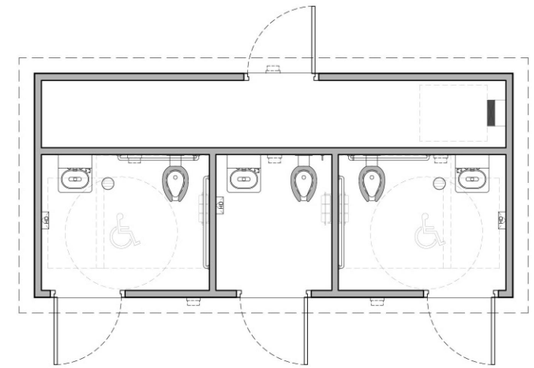
PROJECT REF#: XXXXX-X/X/XXXX-X



FLOOR PLAN

SCALE: NOT TO SCALE

PLAYGROUND SERIES: PS-033

CITY, STATE

RESTROOM BUILDING

ARTIST IMPRESSION: 3D RENDERING ONLY FOR REPRESENTATION. COLORS AND MATERIALS ARE SUBJECT TO CHANGE

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2587 BUSINESS PARKWAY
MINDEN NEVADA 89423
P: 888-888-2060 F: 888-888-1448

CITY OF RIALTO- Prefabricated Buildings | Options

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

130 E. San Bernardino Ave.
Rialto, CA 92376

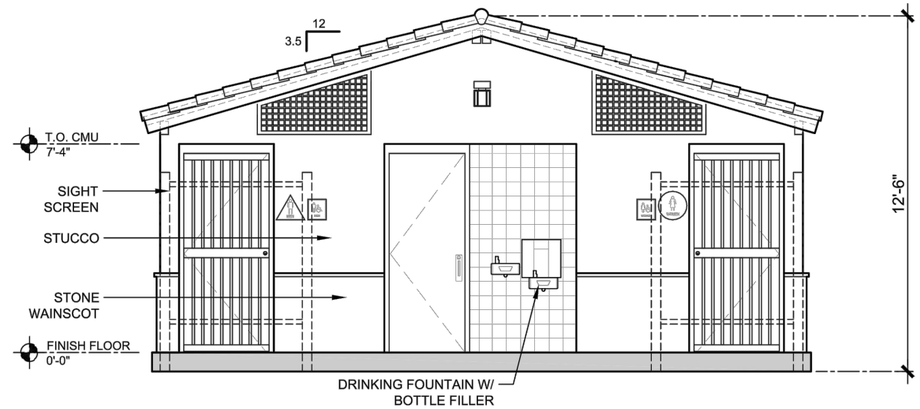
date: 04.27.2018

project no. 17X103.00

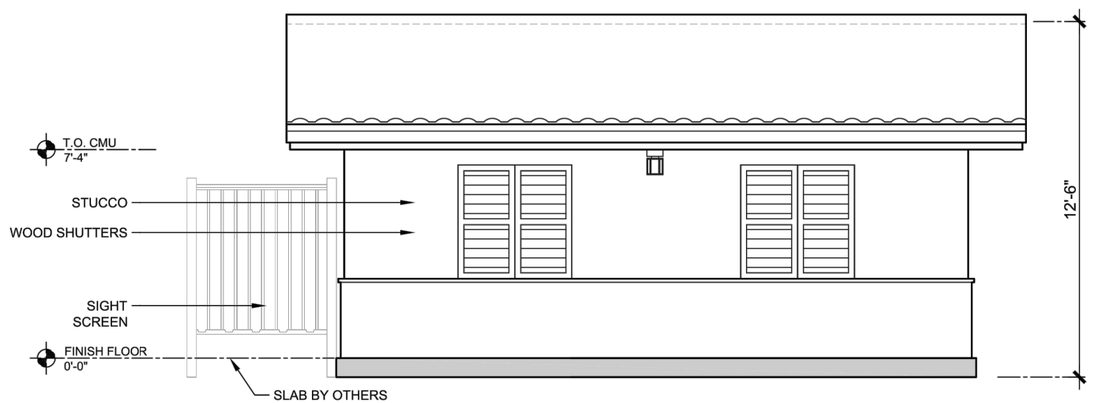
scale: Not to Scale

IDS GROUP
1 Peters Canyon Road, Suite 130, Irvi
t: 949.387.8500, f: 949.387.(

PROJECT REF#: *10110A-1/12/2017-2*



1 A-2 **ELEVATION 1**
SCALE: 3/16"=1'-0"



2 A-2 **ELEVATION 2**
SCALE: 3/16"=1'-0"

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BUILDING TYPE:	**RESTROOM / STORAGE BUILDING**	REVISION # **2**	REVISION DATE: 1/12/2017	SHEET# **A-2**
PROJECT:	**ANDRESON PARK RIALTO, CA**	PROJECT #: **10110A**	DRAWN BY: EOR	
			START DATE: 12/15/2016	MAX. PERSON / HOUR: **180 M**
			DRAWN BY: EOR	

~NOT FOR CONSTRUCTION ~ PRELIMINARY DESIGN DRAWING ONLY ~ DO NOT SCALE, DIMENSIONS PRESIDE

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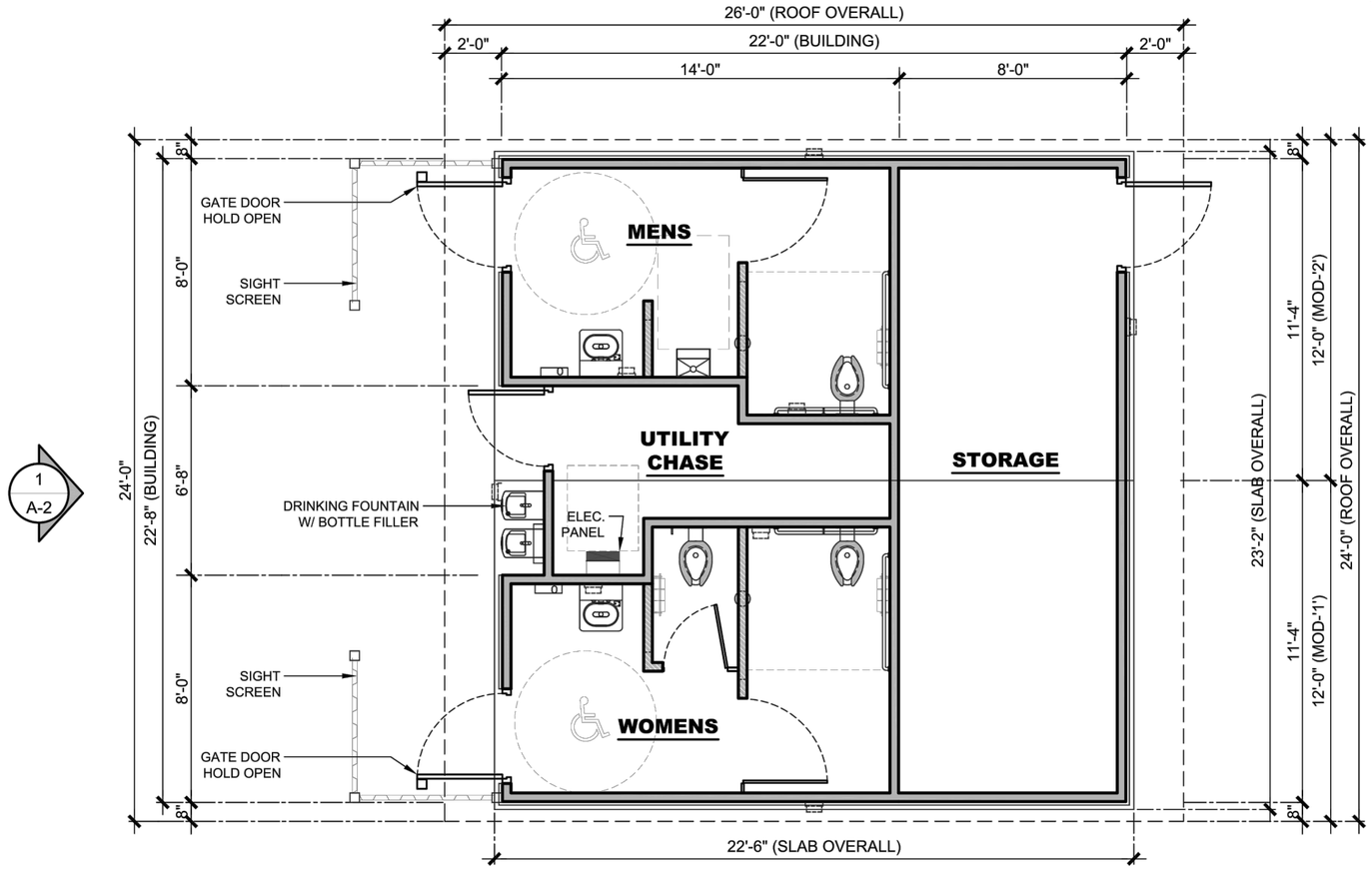

1 - **FLOOR PLAN**

SCALE: 3/16"=1'0"

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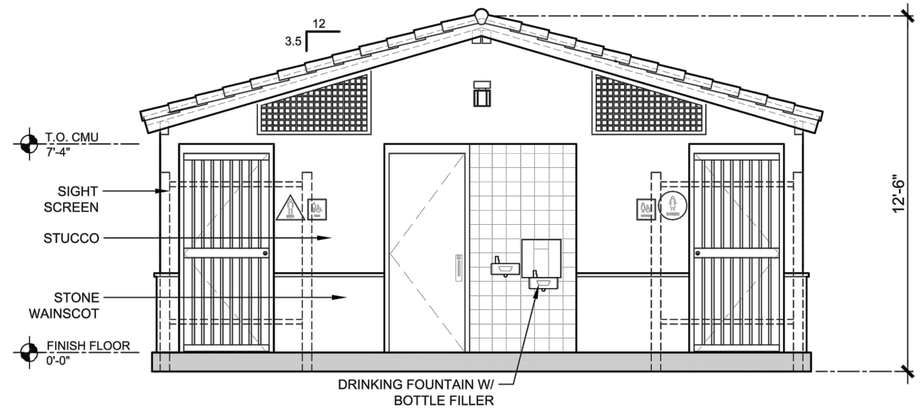
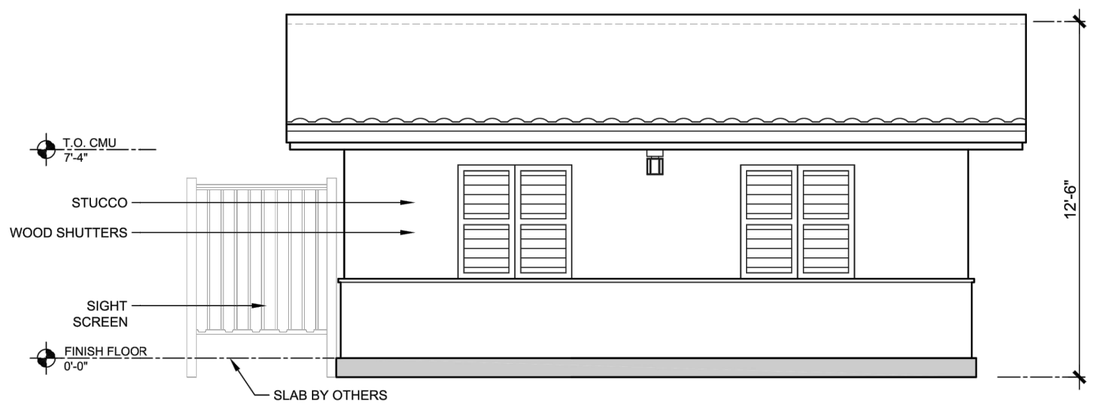


1 A-2 **ELEVATION 1**
SCALE: 3/16"=1'-0"



2 A-2 **ELEVATION 2**
SCALE: 3/16"=1'-0"

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			START DATE: 12/15/2016	MAX. PERSON / HOUR: **180 M**
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CITY OF RIALTO- Prefabricated Buildings | Options

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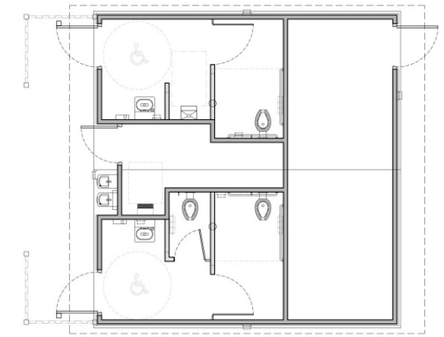

FLOOR PLAN

SCALE: NOT TO SCALE

ANDRESON PARK

RIALTO, CALIFORNIA

RESTROOM / STORAGE BUILDING

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logo:	client:	project address:	date:	project no.	17X103.00
	CITY OF RIALTO 335 W Rialto Avenue Rialto, CA 92376	130 E. San Bernardino Ave. Rialto, CA 92376	04.27.2018	scale:	Not to Scale

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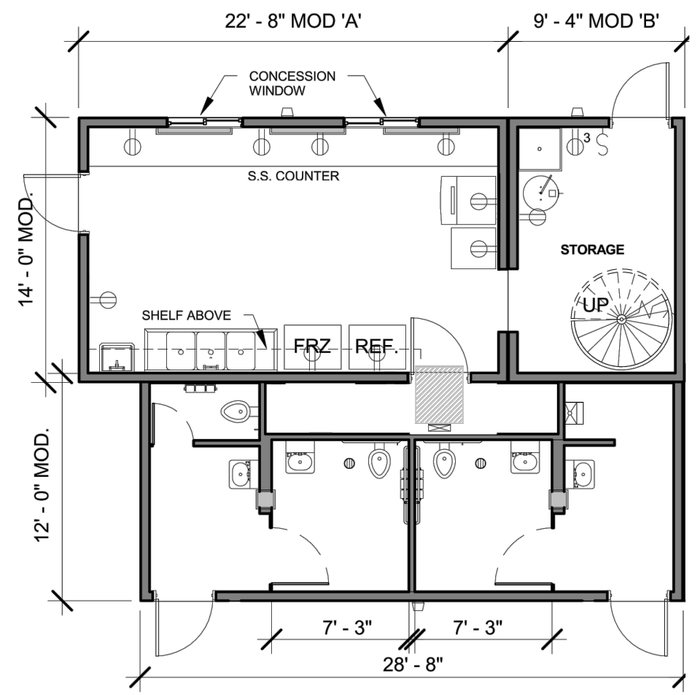

1 1ST FLOOR PLAN
1/8" = 1'-0"

CITY OF RIALTO - Prefabricated Restroom

Options

logo:

client:

CITY OF RIALTO
335 W Rialto Avenue
Rialto, CA 92376

project address:

130 E. San Bernardino Ave.
Rialto, CA 92376

date:

04.27.2018

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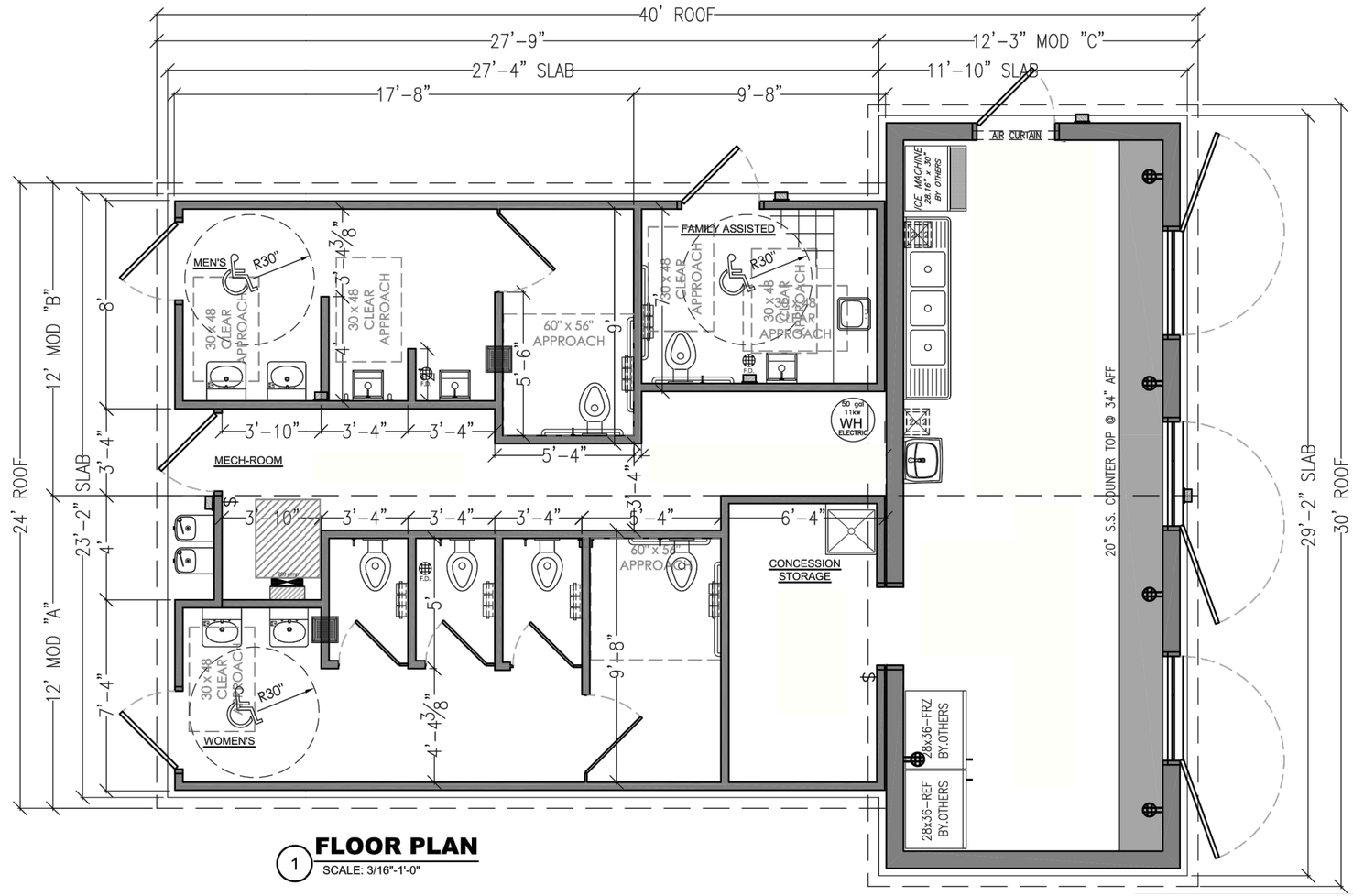

1 **FLOOR PLAN**
SCALE: 3/16"-1'-0"

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BUILDING TYPE: **RESTROOM & CONCESSION BUILDING**

PROJECT: **FERGUSSON PARK**
RIALTO, CA.

CITY OF RIALTO - Prefabricated Restroom

Options

logo:

client:
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Rialto, CA 92376

project address:
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Rialto, CA 92376

date: 04.27.2018

project no. 17X103.00

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